

# APTOS VILLAGE



VIEW 1



VIEW 2



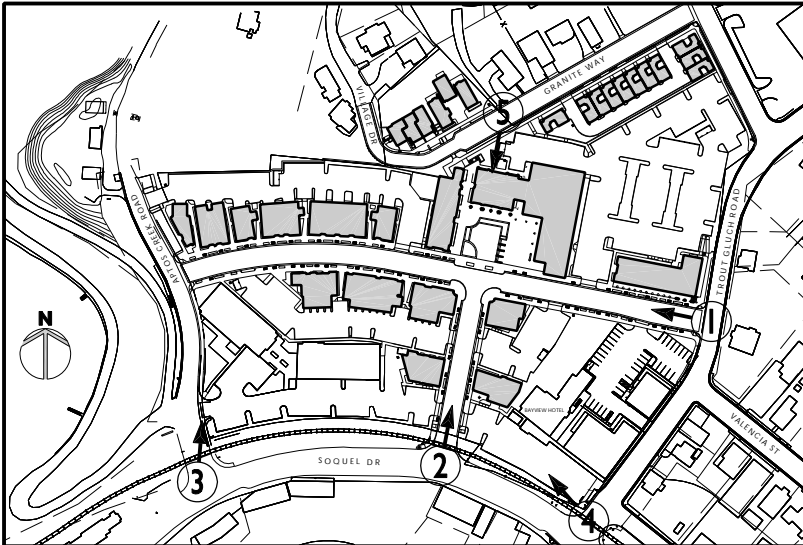
VIEW 3



VIEW 4



VIEW 5



KEY PLAN

ARCHITECTURAL SHEETS

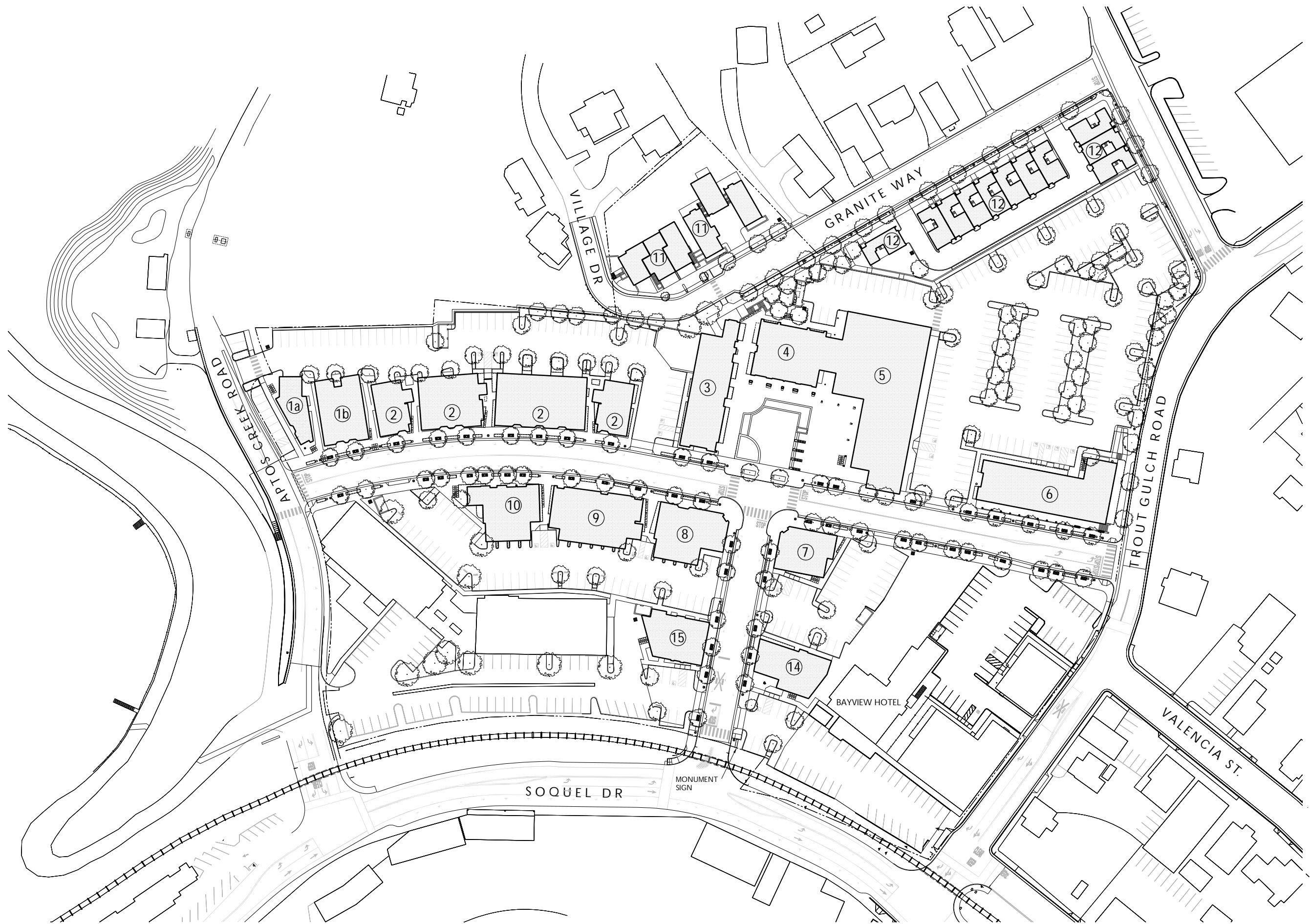
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CIVIL ENGINEERING SHEETS

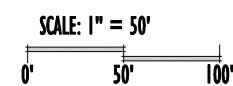
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L2.2	ENLARGED VILLAGE GREEN PLAN



THIS PLAN IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR PROPOSED SITE IMPROVEMENTS.



APN: 041-011-03, 20, 33

## SITE PLAN APTOS VILLAGE



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MAY 5, 2011



Private Open Space	
Unit #	Private S.F.
1-1	215
1-2	515
1-3	552
1-4	430
1-5	384
1-6	265
1-7	192
2-1	96
2-2	104
2-3	96
2-4	104
2-5	96
2-6	96
2-7	104
2-8	96
2-9	104
2-10	96
3-1	60
3-2	60
3-3	100
3-4	100
3-5	60
3-6	60
3-7	100
3-8	100
7-1	100
7-2	262
7-3	0
8-1	119
8-2	119
8-3	59
8-4	133
9-1	24
9-2	24
9-3	24
9-4	132
9-5	132
9-6	132
10-1	0
10-2	73
10-3	73
10-4	0
11-1	120
11-2	120
11-3	120
11-4	288
11-5	100
11-6	162
12-1	131
12-2	131
12-3	131
12-4	131
12-5	131
12-6	131
12-7	131
12-8	131
12-9	131
12-10	131
12-11	131
14-1	195
14-2	116
15-1	121
15-2	124

5' DEEP \*  
5' DEEP \*

5' DEEP \*  
5' DEEP \*

3' DEEP & TOO SMALL \*  
3' DEEP & TOO SMALL \*  
3' DEEP & TOO SMALL \*

## APTOS VILLAGE DATA

First Floor	1a	1b	2	3	4	5	6	7	8	9	10	11	12	14	15	Total
Commercial - Gross	1,036	2,079	7,385	4,130	4,789	12,891	6,739	2,391	2,794	3,254	2,521	0	0	2,904	2,844	55,757
Net Commercial	881	1,767	6,277	3,511	4,071	10,957	5,728	2,032	2,375	2,766	2,143	0	0	2,468	2,417	47,393
Garage	504	810	4,552	0	0	0	0	0	952	1,416	952	3,892	5,476	0	0	18,554
Residential dwelling	0	0	0	0	0	0	0	0	0	0	0	635	3,805	0	0	4,440
Residential common area	0	0	373	254	0	0	0	254	143	486	146	0	0	148	149	1,953
Total residential	0	0	373	254	0	0	0	254	143	486	146	635	3,805	148	149	6,393
Common Area - Shared	0	0	0	685	0	0	0	0	0	0	0	0	0	0	0	685
Total building area = Building Coverage	1,540	2,889	12,310	5,069	4,789	12,891	6,739	2,645	3,889	5,156	3,619	4,527	9,281	3,052	2,993	81,389
Second Floor	1a	1b	2	3	4	5	6	7	8	9	10	11	12	14	15	Total
Commercial - Gross	0	0	0	0	4,845	0	6,261	0	0	0	0	0	0	0	0	11,106
Net Commercial	0	0	0	0	4,118	0	5,322	0	0	0	0	0	0	0	0	9,440
Residential dwelling	1,112	2,208	10,172	3,700	0	0	0	2,158	3,463	4,297	3,108	5,664	9,997	2,732	2,683	51,294
Residential common area	0	68	2,757	254	0	0	0	531	438	903	440	0		171	180	5,742
Total residential	1,112	2,276	12,929	3,954	0	0	0	2,689	3,901	5,200	3,548	5,664	9,997	2,903	2,863	55,924
Common Area - Shared	0	0	0	685	0	0	0	0	0	0	0	0	0	0	0	685
Total building area	1,112	2,276	12,929	4,639	4,845	0	6,261	2,689	3,901	5,200	3,548	5,664	9,997	2,903	2,863	67,715
Third Floor	1a	1b	2	3	4	5	6	7	8	9	10	11	12	14	15	Total
Commercial - Gross	0	0	0	0	4,845	0	0	0	0	0	0	0	0	0	0	4,845
Net Commercial	0	0	0	0	4,118	0	0	0	0	0	0	0	0	0	0	4,118
Residential dwelling		3,339	7,462	3,700	0	0	0	0	1,120	780	0	5,772	0	0	0	22,173
Residential common area		0	0	254	0	0	0	0	0	0	0	0	0	0	0	254
Total residential	0	3,339	7,462	3,954	0	0	0	0	1,120	780	0	5,772	0	0	0	22,427
Common Area - Shared		0	0	685	0	0	0	0	0	0	0	0	0	0	0	685
Total building area	0	3,339	7,462	4,639	4,845	0	0	0	1,120	780	0	5,772	0	0	0	27,957
Total	1a	1b	2	3	4	5	6	7	8	9	10	11	12	14	15	Total
Commercial - Gross	1,036	2,079	7,385	4,130	14,479	12,891	13,000	2,391	2,794	3,254	2,521	0	0	2,904	2,844	71,708
Net Commercial	881	1,767	6,277	3,511	12,307	10,957	11,050	2,032	2,375	2,766	2,143	0	0	2,468	2,417	60,952
Garage	504	810	4,552	0	0	0	0	0	952	1,416	952	3,892	5,476	0	0	18,554
Residential dwelling	1,112	2,208	17,634	7,400	0	0	0	2,158	4,583	5,077	3,108	12,071	13,802	2,732	2,683	74,568
Residential common area	0	68	3,130	762	0	0	0	785	581	1,389	586	0	0	319	329	7,949
Total residential	1,112	2,276	20,764	8,162	0	0	0	2,943	5,164	6,466	3,694	12,071	13,802	3,051	3,012	82,517
Common Area - Shared	0	0	0	2,055	0	0	0	0	0	0	0	0	0	0	0	2,055
Total building area	2,652	5,165	32,701	14,347	14,479	12,891	13,000	5,334	8,910	11,136	7,167	15,963	19,278	5,955	5,856	174,834
Number of Dwelling Units	1	2	14	8	0	0	0	3	4	6	4	11	2	2	2	63
Number of Bedrooms	2	4	30	8	0	0	0	4	7	8	5	18	22	4	4	116

### NOTES

- LOT 12 COMMON USABLE OPEN SPACE = 1,897 S.F. = 172 S.F. / DWELLING
- VILLAGE COMMON COMMON USABLE OPEN SPACE = 16,000 S.F.

### COMMON USABLE OPEN SPACE

300 S.F. PER DWELLING UNIT  
(NOT ON SLOPES OVER 10%)

MIN. SIZE = 200 S.F.  
MIN. DIMENSION = 15'



### PRIVATE USABLE OPEN SPACE

200 S.F. PER DWELLING UNIT  
(NOT ON SLOPES OVER 10%)

GROUND LEVEL  
MIN. SIZE = 150 S.F.  
MIN. DIMENSION = 10'



ABOVE GROUND  
MIN. SIZE = 50 S.F.  
MIN. DIMENSION = 6'



## PROJECT DATA

## APTOS VILLAGE

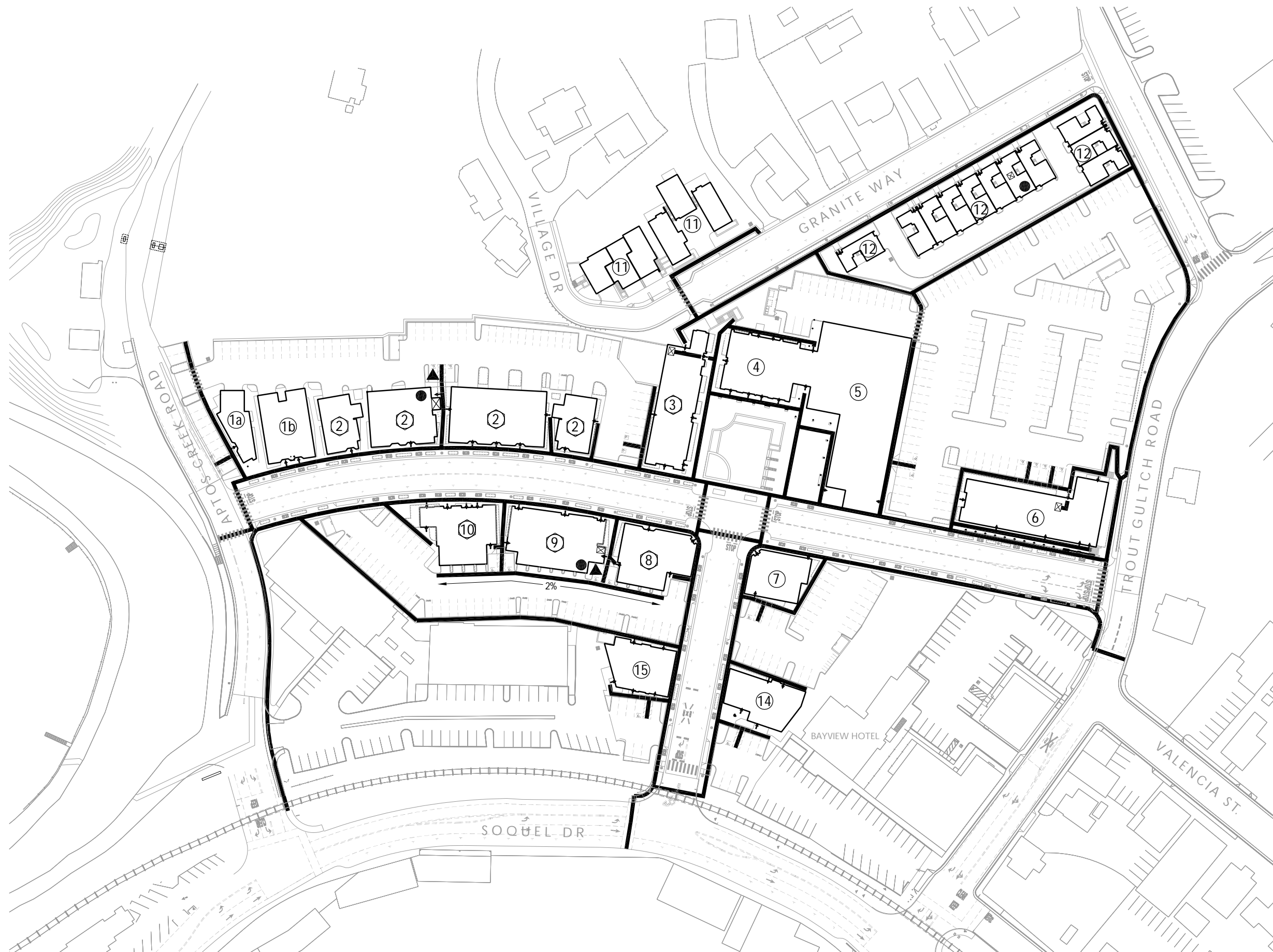





BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.





THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MARCH 1, 2011  
MAY 5, 2011



-  ACCESSIBLE PATH
-  BUILDING ENTRANCE
-  ELEVATOR

#### RESIDENTIAL ACCESSIBLE PARKING

-  ACCESSIBLE GARAGE
-  ACCESSIBLE ASSIGNED UNCOVERED SPACE

SEE SHEET 0.5 FOR ADDITIONAL PARKING DATA

-  COVERED RESIDENTIAL BUILDINGS

NOTE: SEE CIVIL PLANS FOR SLOPES & GRADIENTS AT EXTERIOR RAMPS & SIDEWALKS

SCALE: 1" = 50'  
0' 50' 100'



## SITE ACCESS PLAN APTOS VILLAGE

APN: 041-011-03, 20, 33



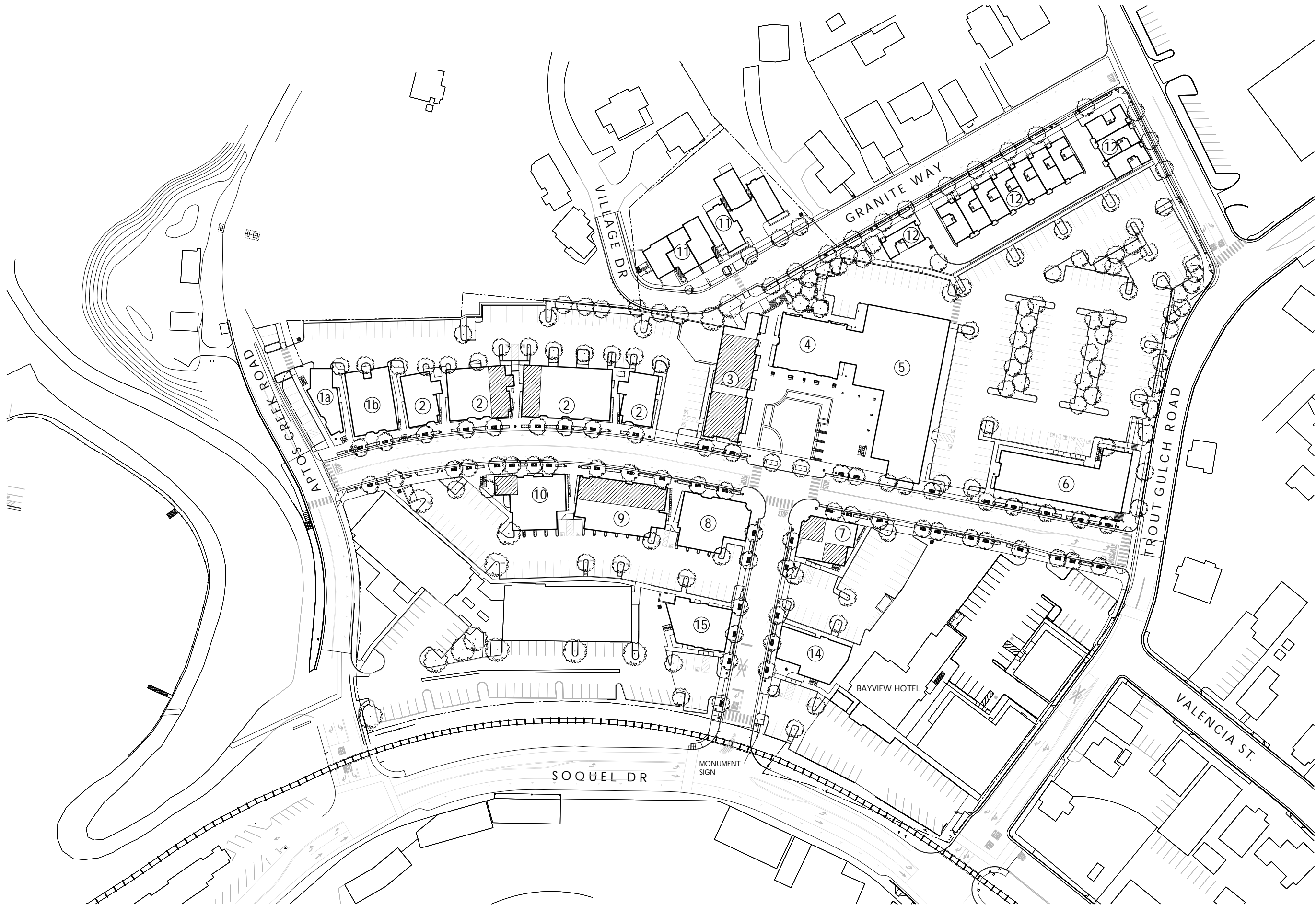
BARRY SWENSON BUILDER  
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THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MAY 5, 2011

0.3



DWELLING UNIT DATA

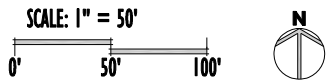
BLDG	UNIT	# BEDRMS	UNIT AREA
1A	1	2	1,112
1B	1	2	1,104
1B	2	2	1,104
2	1	2	1,209
2	2	2	1,327
2	3	2	1,209
2	4	2	1,327
2	5	2	1,327
* 2	6	3	1,209
* 2	7	3	1,209
2	8	2	1,327
2	9	2	1,209
2	10	2	1,209
2	11	2	1,327
2	12	2	1,209
2	13	2	1,327
2	14	2	1,209
* 3	1	1	912
* 3	2	1	908
3	3	1	951
3	4	1	929
* 3	5	1	912
* 3	6	1	908
3	7	1	951
3	8	1	929
* 7	1	2	927
7	2	1	664
* 7	3	1	567
8	1	2	1,406
8	2	2	1,431
8	3	1	797
8	4	2	949
** 9	1	2	916
** 9	2	2	916
* 9	3	1	611
9	4	1	877
9	5	1	880
9	6	1	877
* 10	1	1	661
10	2	1	765
10	3	1	781
10	4	2	901
11	1	3	1,770
11	2	3	1,947
11	3	3	2,020
11	4	3	2,249
11	5	3	2,107
11	6	3	1,978
12	1	2	1,246
12	2	2	1,246
12	3	2	1,246
12	4	2	1,246
12	5	2	1,246
12	6	2	1,246
12	7	2	1,246
12	8	2	1,246
12	9	2	1,278
12	10	2	1,278
12	11	2	1,278
14	1	2	1,516
14	2	2	1,216
15	1	2	1,313
15	2	2	1,370
TOTAL	63	116	74,568

AVERAGE # BEDROOMS = 1.84  
AVERAGE D.U. AREA = 1,184 SF

\* INCLUSIONARY UNITS  
\*\* LOW INCOME

INCLUSIONARY

12 D.U.S  
19 BEDROOMS  
TOTAL D.U. AREA = 10,656 SF  
AVERAGE D.U. AREA = 888 SF  
AVERAGE # BEDROOMS = 1.58



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INCLUSIONARY UNITS PLAN  
APTOS VILLAGE



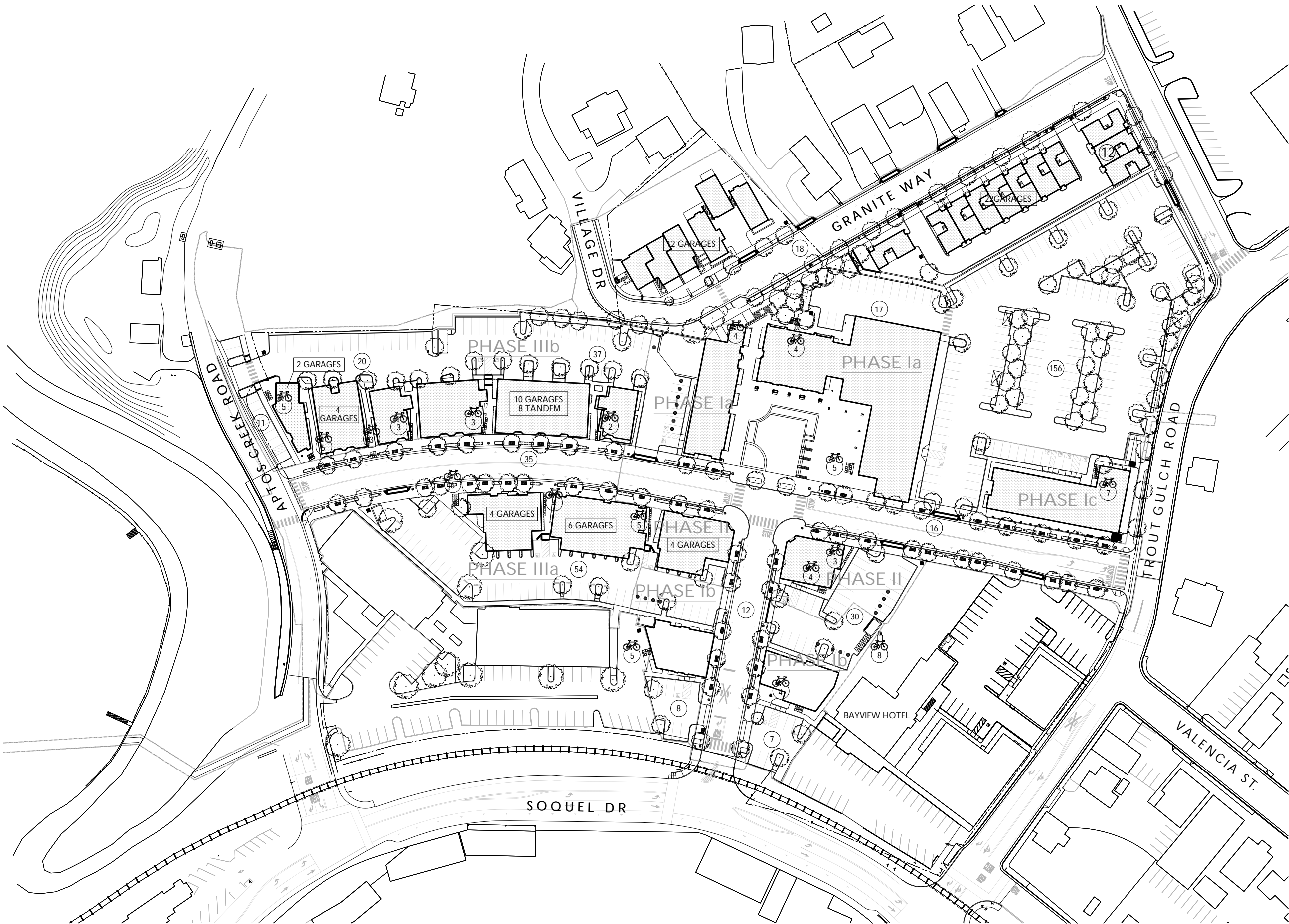
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MARCH 1, 2011  
MAY 5, 2011





	PARKING TABULATION				
	OFF STREET	GARAGE	TANDEM	ON STREET	TOTAL
PHASE 1a					
PARKING REQUIRED					110
PARKING PROVIDED	154	34	0	53	241
SURPLUS					131
PHASE 1b					
PARKING REQUIRED					39
PARKING PROVIDED	34	0	0	0	34
SURPLUS					126
PHASE 1c					
PARKING REQUIRED					88
PARKING PROVIDED	11	0	0	0	11
SURPLUS					49
PHASE II					
PARKING REQUIRED					94
PARKING PROVIDED	32	4	0	0	36
SURPLUS					-9
PHASE IIIa					
PARKING REQUIRED					40
PARKING PROVIDED	41	10	0	28	79
SURPLUS					29
PHASE IIIb					
PARKING REQUIRED					76
PARKING PROVIDED	49	20	8	11	88
SURPLUS					45
TOTAL REQUIRED					447
TOTAL PROVIDED	329	72	8	92	498
TOTAL SURPLUS					41

BICYCLE PARKING		
	CLASS I LOCKERS:	12
	CLASS II PARKING:	69
	TOTAL:	81

- POTENTIAL LOCATIONS FOR SHOPPING CART CORRALS
- ASSIGNED RESIDENTIAL PARKING
- PHASE LIMIT LINE

SCALE: 1" = 50'

0' 50' 100'



# PARKING PLAN APTOS VILLAGE

APN: 041-011-03, 20, 33

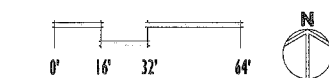
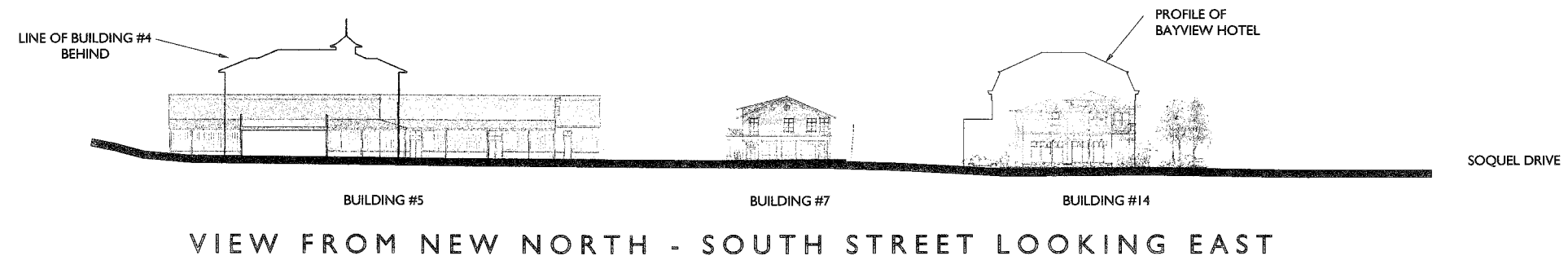
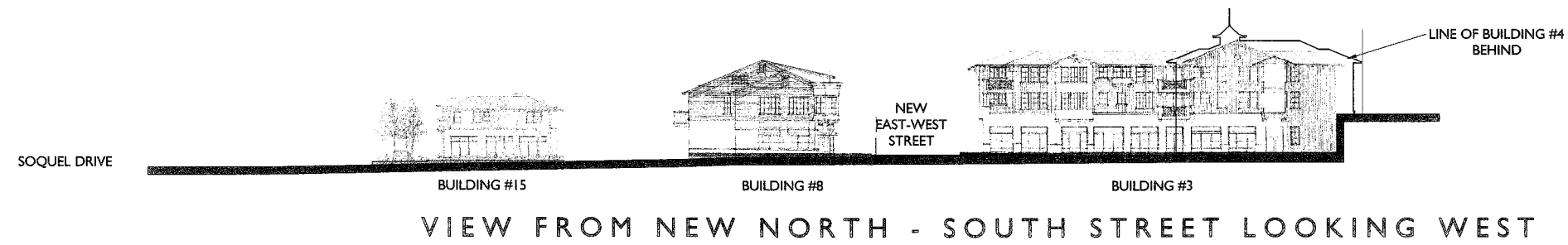
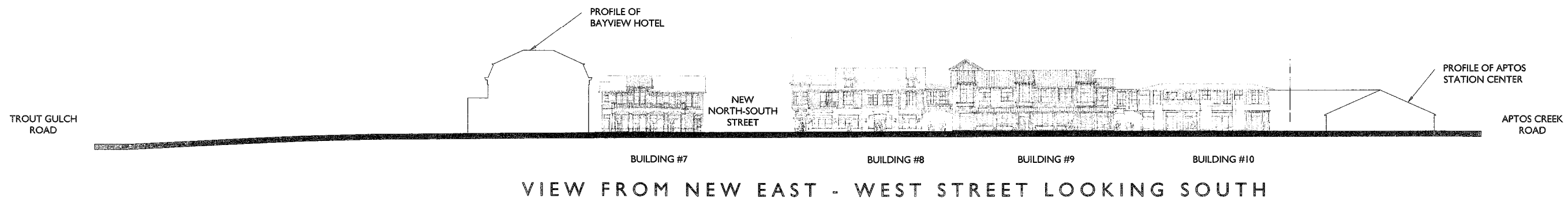
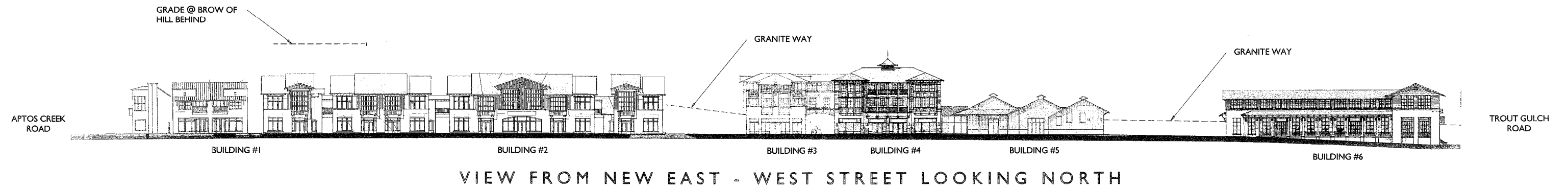


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
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# STREETSCAPE COMPOSITE ELEVATIONS APTOS VILLAGE



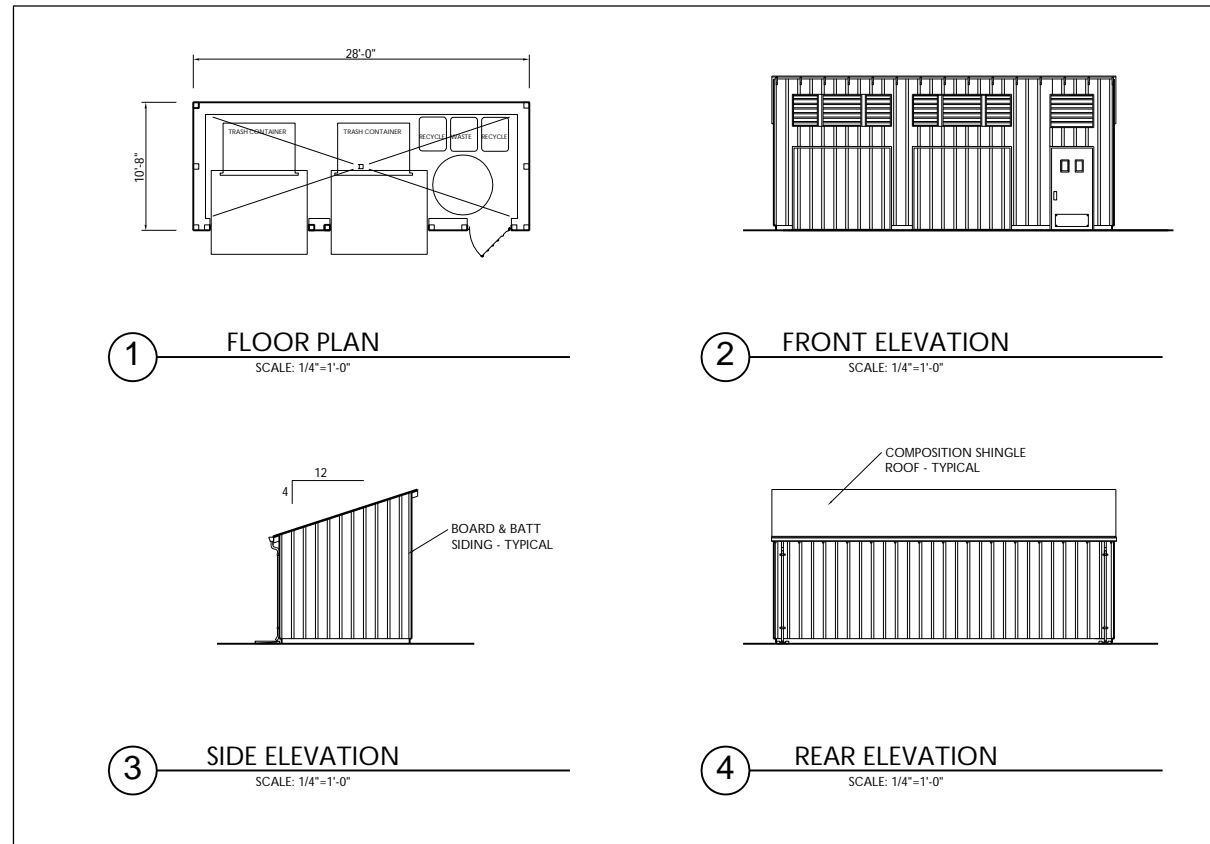
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



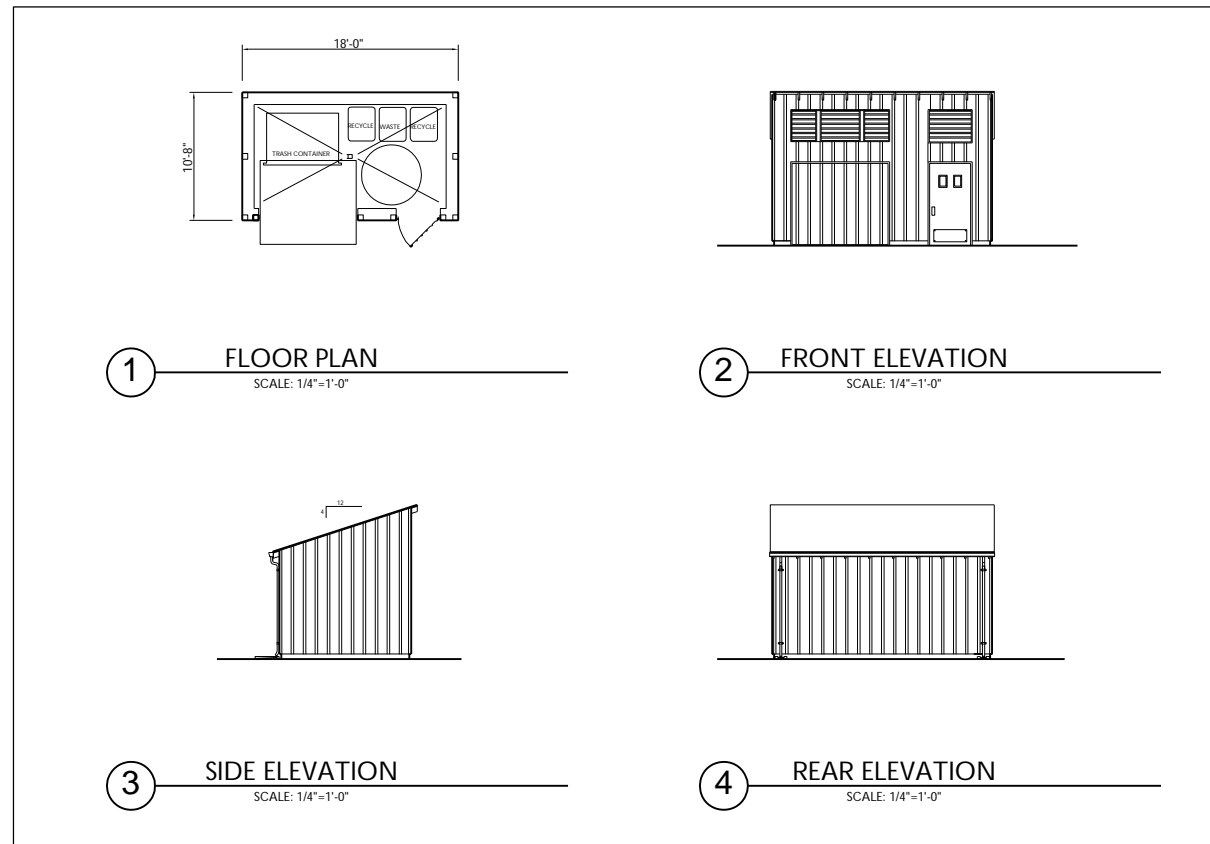
THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011  
AUGUST 24, 2011

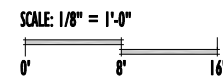
0.6



DOUBLE TRASH ENCLOSURE



SINGLE TRASH ENCLOSURE



APN: 041-011-03, 20, 33



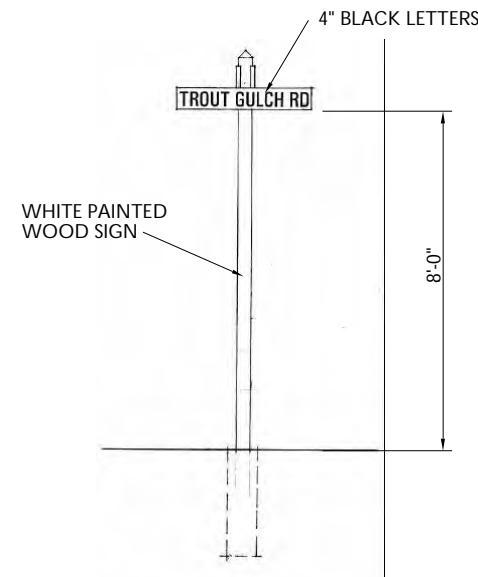
BENCH



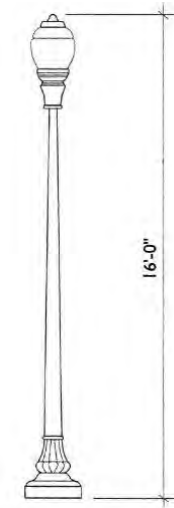
BIKE LOOP



TRASH RECEPTACLE



STREET SIGN



STREET LIGHT



BICYCLE LOCKER

- UNLESS OTHERWISE NOTED:  
DARK BRONZE / BROWN COLOR
- BENCH
  - TRASH RECEPTOR
  - STREET LIGHT
  - BIKE LOOP (OR S.S.)
  - BIKE LOCKER
  - TRANSFORMERS
  - UTILITY SPLICE PEDESTALS

## SITE ELEMENTS APTOS VILLAGE



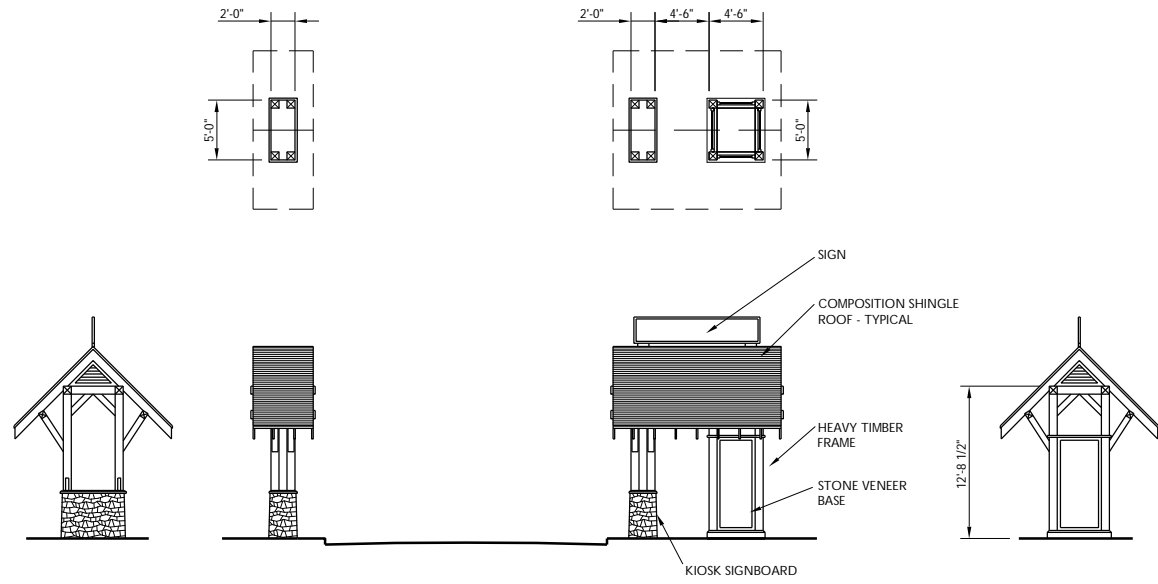
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



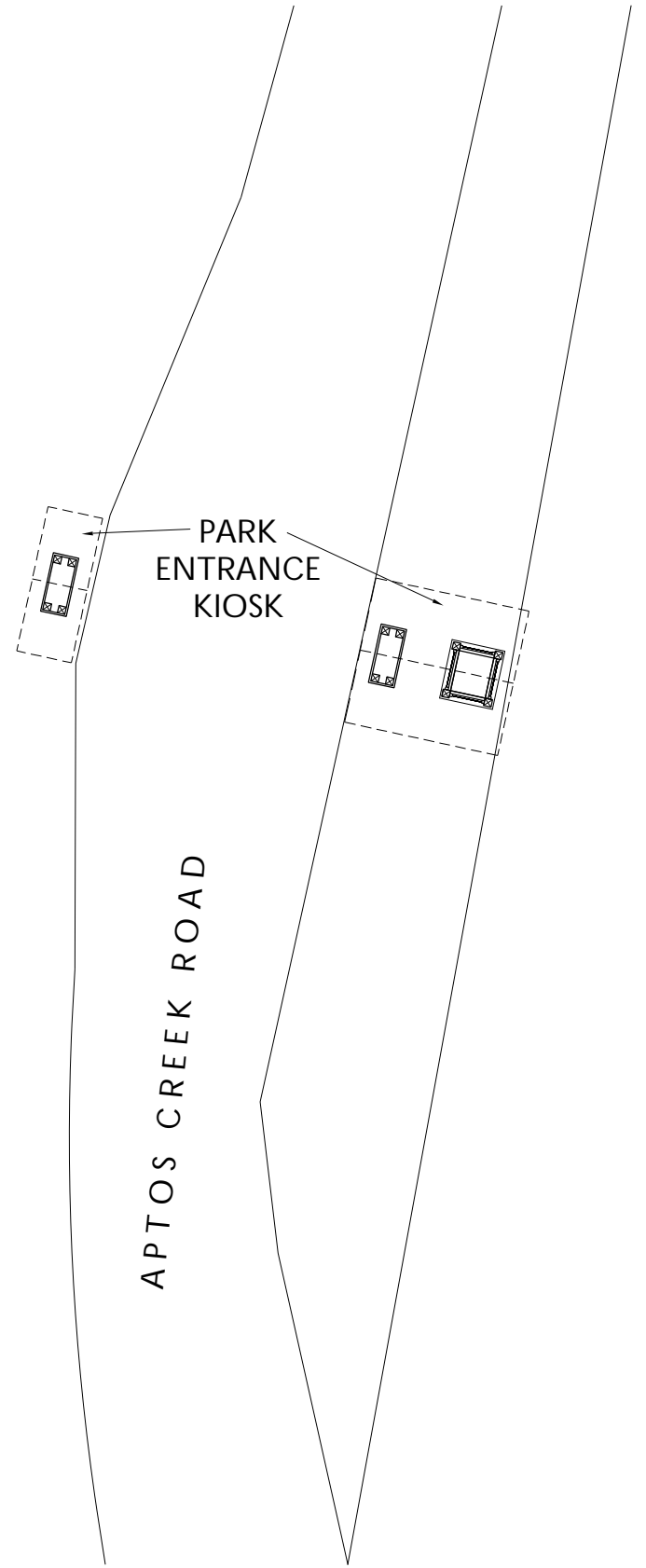
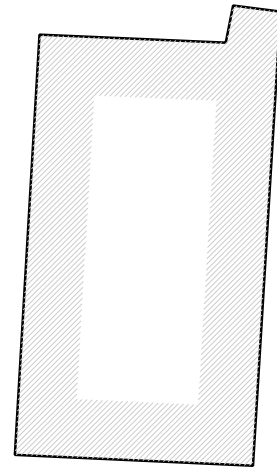
THACHER & THOMPSON ARCHITECTS

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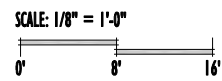




1 KIOSK PLAN AND ELEVATIONS  
SCALE: 1/8"=1'-0"



2 KIOSK SITE PLAN  
SCALE: 1/8"=1'-0"



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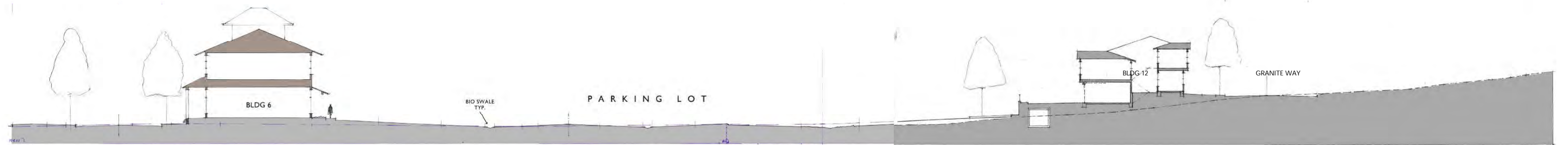
# PARK ENTRANCE KIOSK APTOS VILLAGE



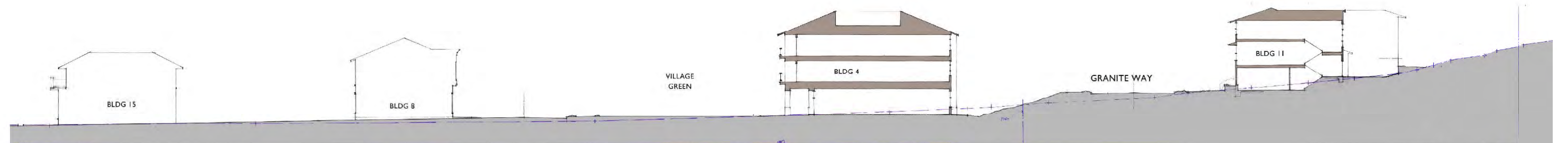
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



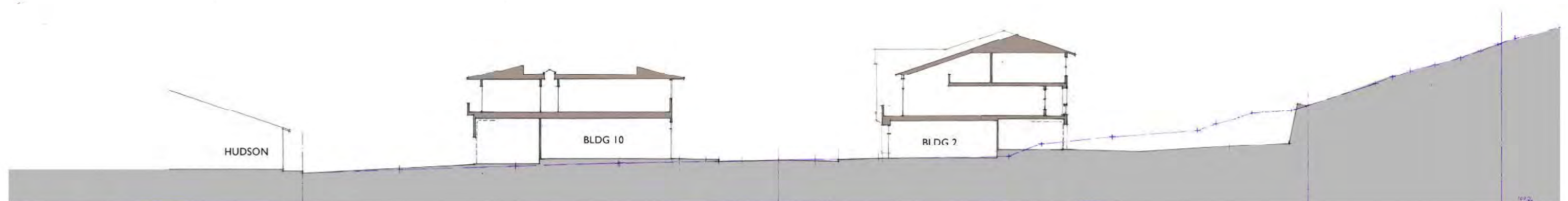
THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MARCH 1, 2011  
MAY 5, 2011



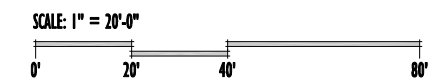
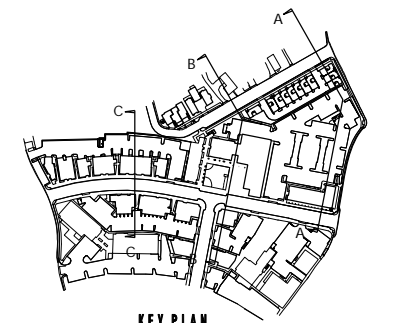
A




B



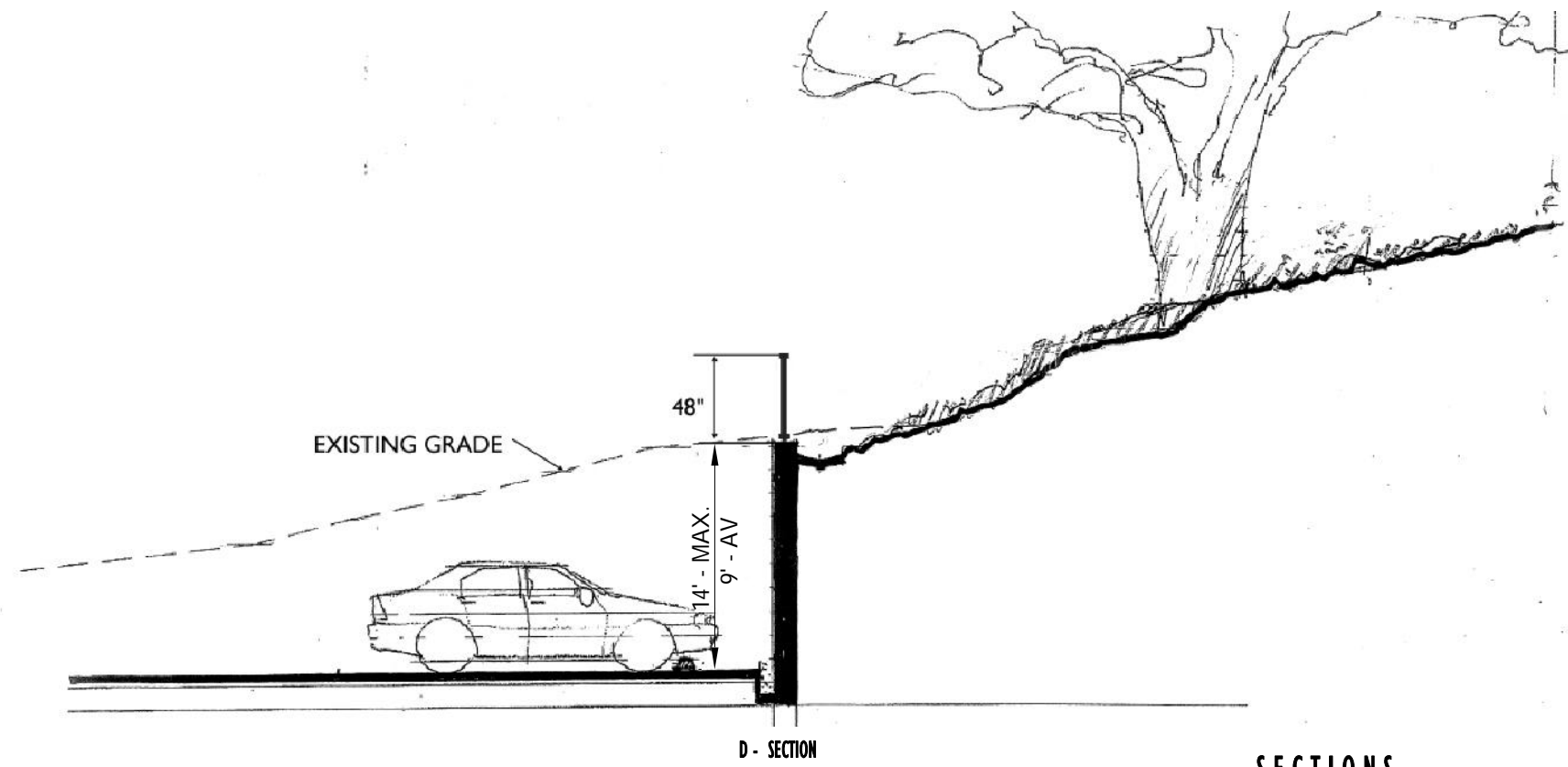
C



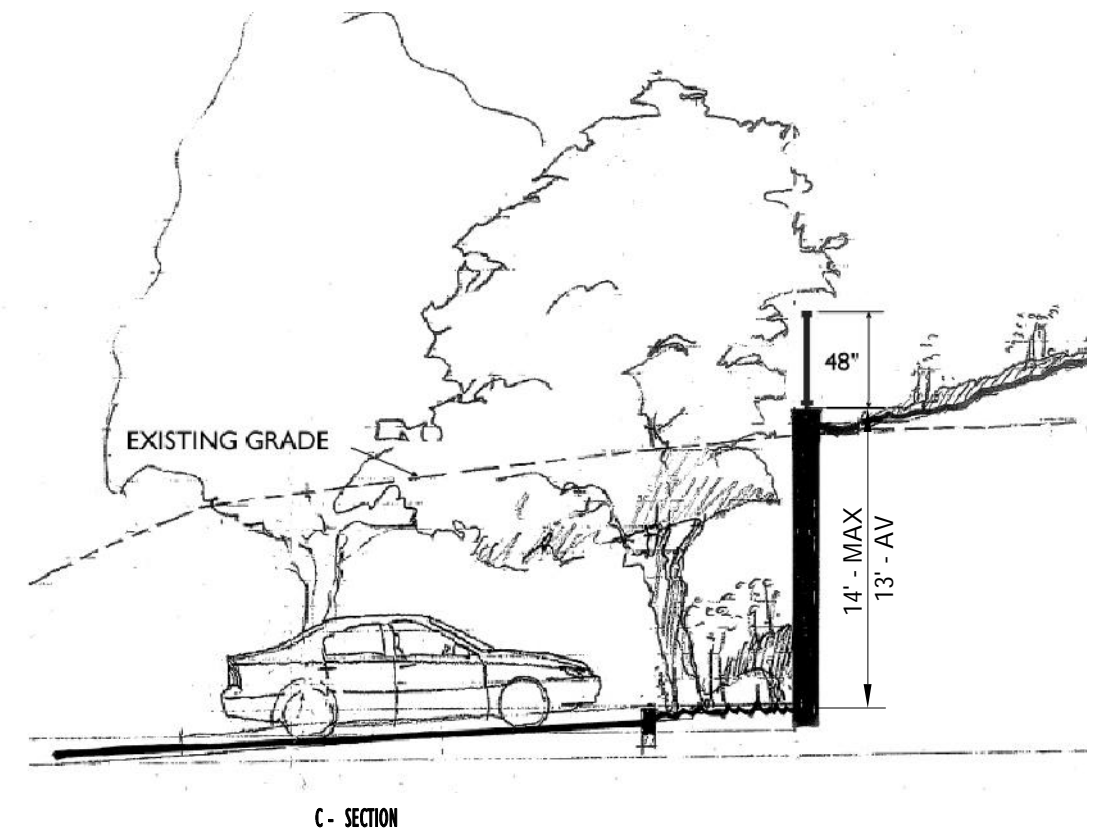
# SITE SECTIONS APTOS VILLAGE

  
 BARRY SWENSON BUILDER  
 A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS  
 OCTOBER 15, 2010  
 JANUARY 15, 2011  
 MAY 5, 2011

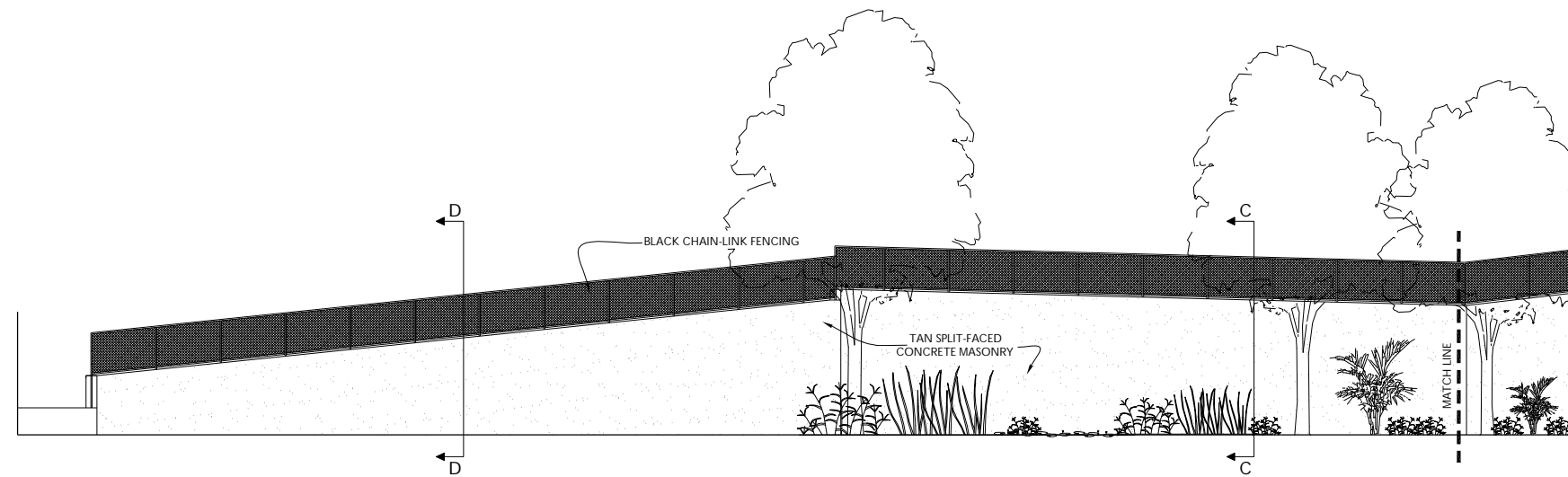


D - SECTION

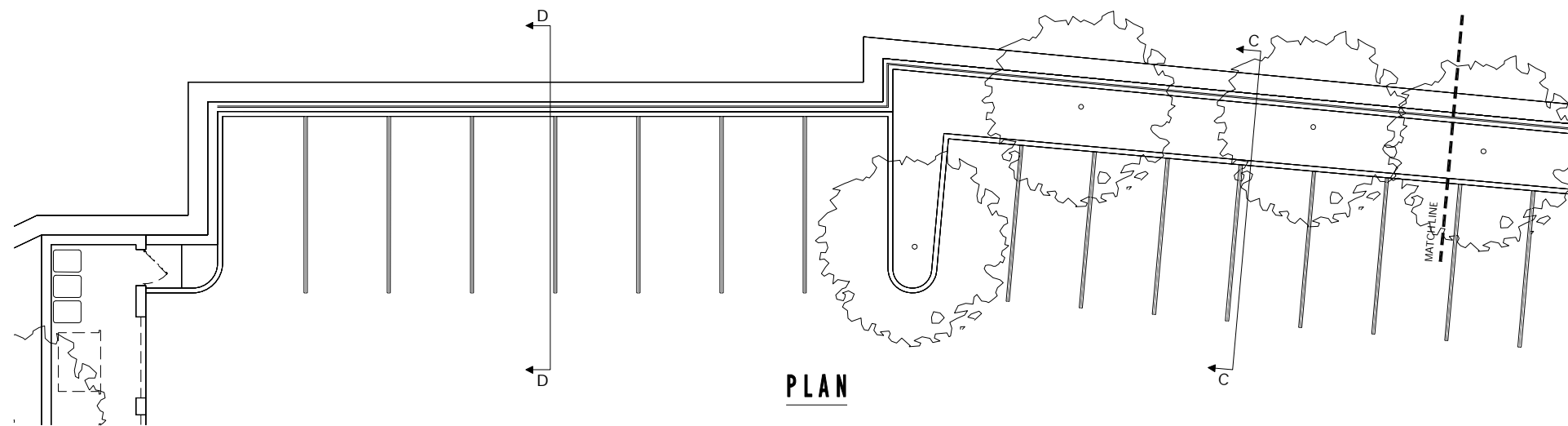


C - SECTION

# SECTIONS



# ELEVATION



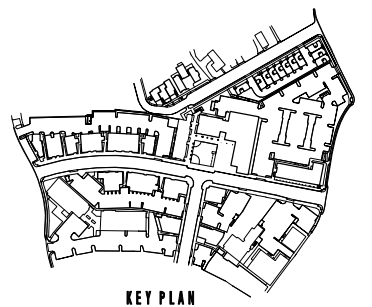
# PLAN

SCALE: 1/8" = 1'-0"



APN: 041-011-03, 20, 33

## RETAINING WALL AT BUILDING 2 APTOS VILLAGE



KEY PLAN



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

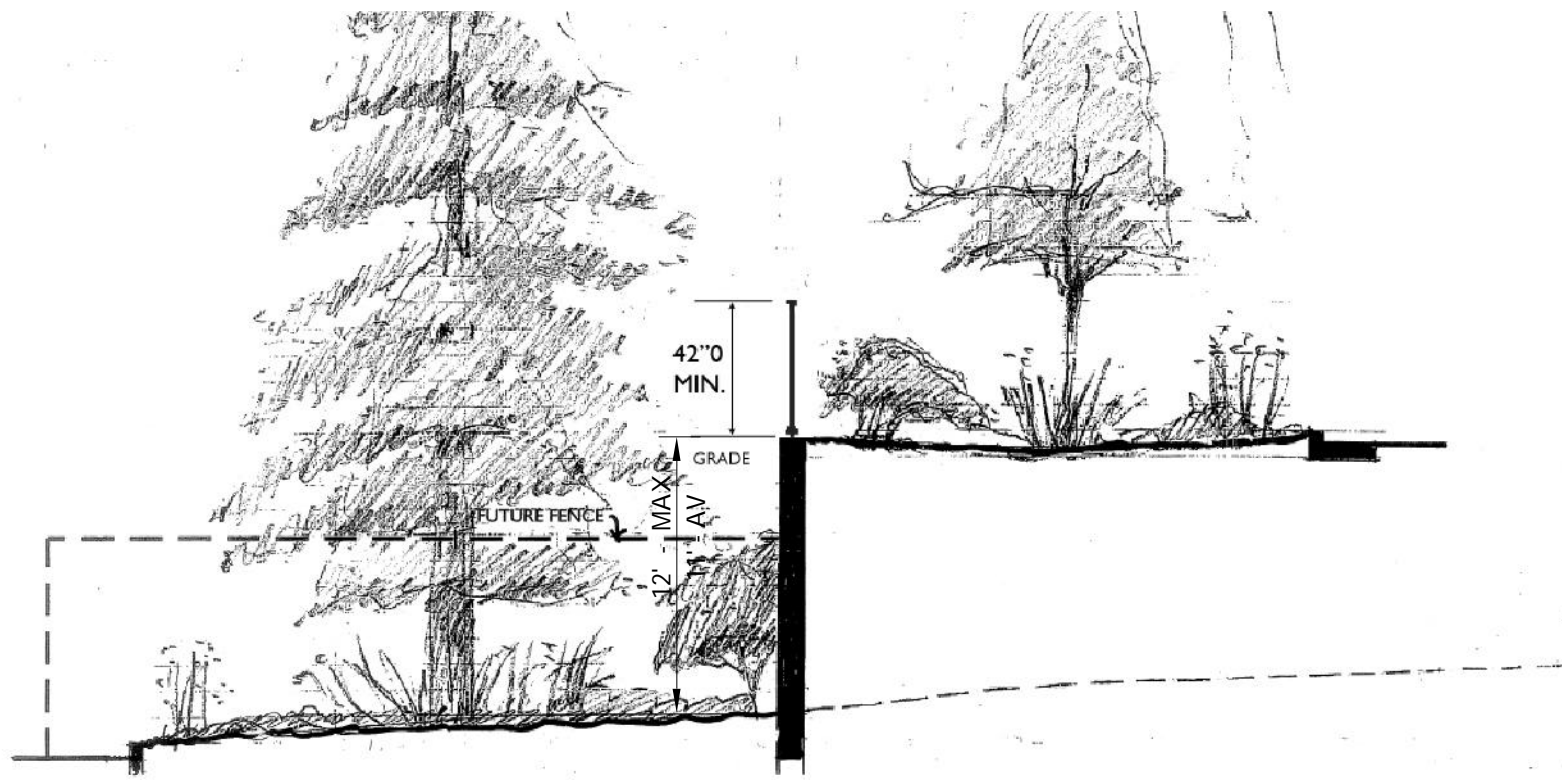


THACHER & THOMPSON ARCHITECTS

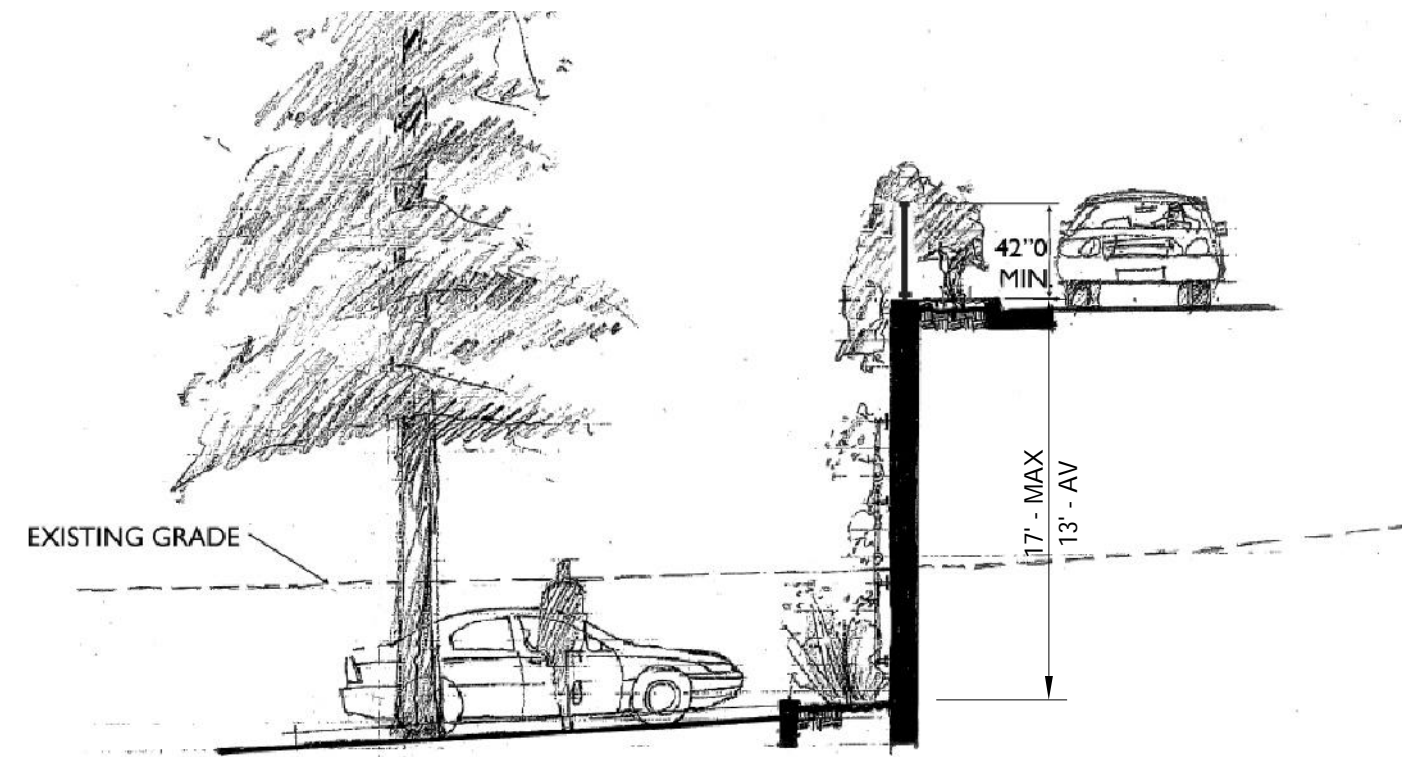
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

0.10



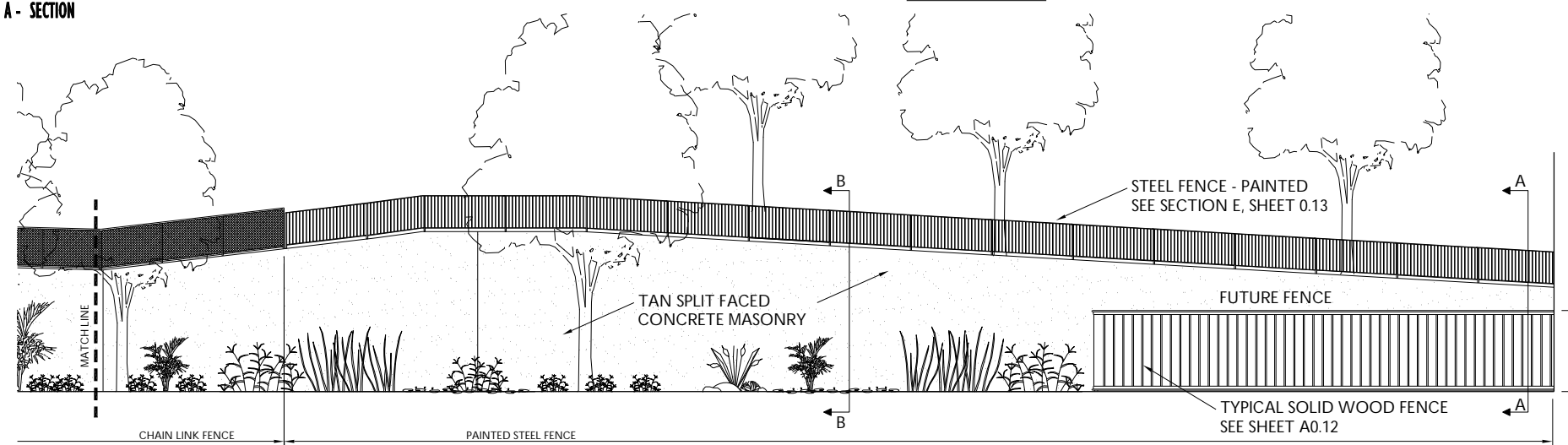


A - SECTION

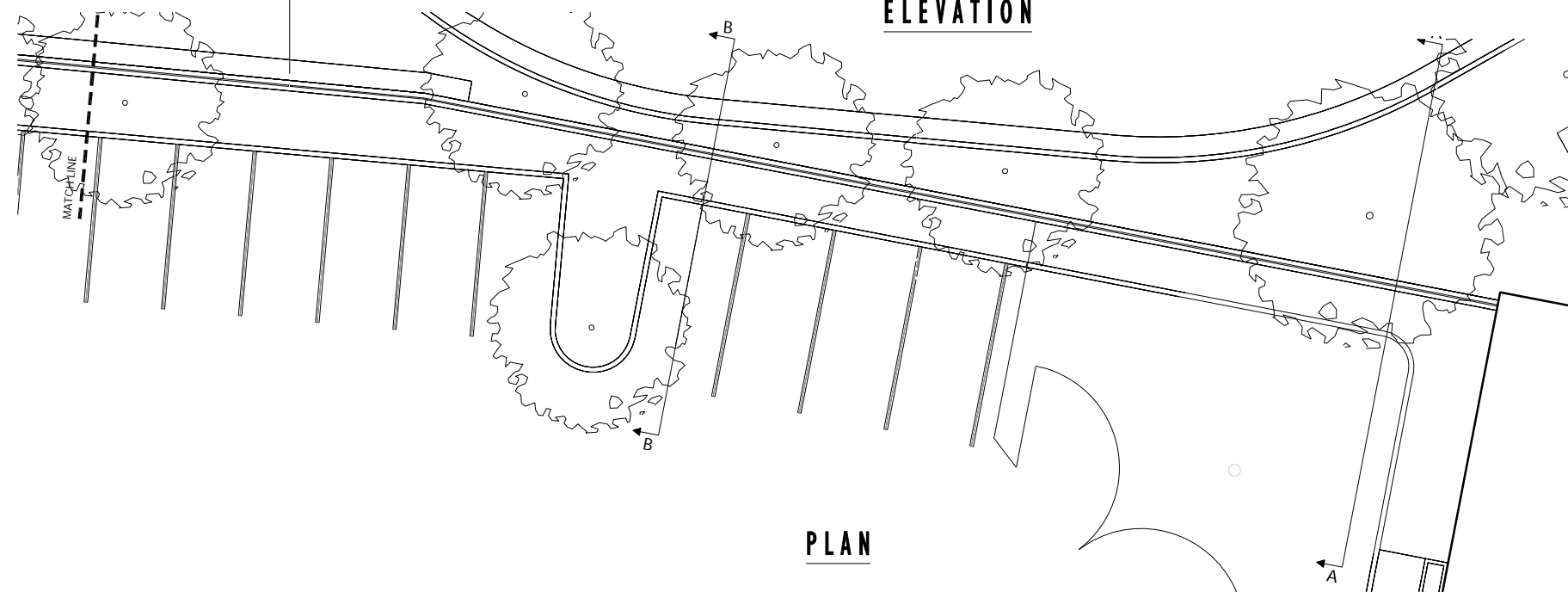


B - SECTION

# SECTIONS



# ELEVATION



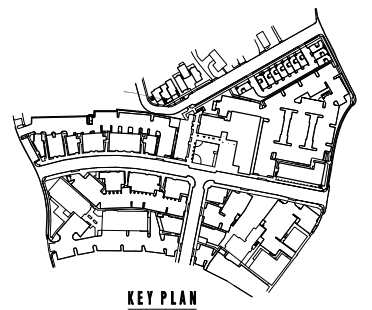
# PLAN

SCALE: 1/8" = 1'-0"



APN: 041-011-03, 20, 33

# RETAINING WALL AT BUILDING 2 APTOS VILLAGE



KEY PLAN



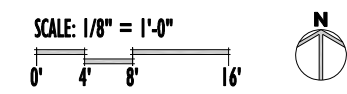
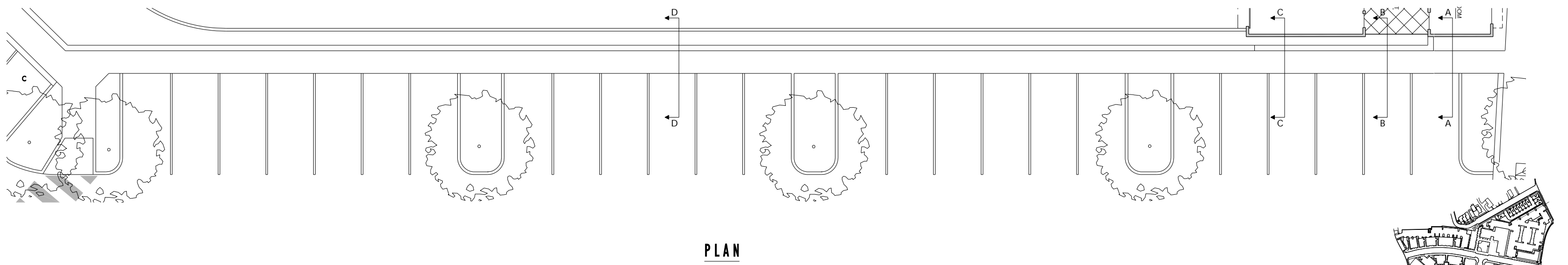
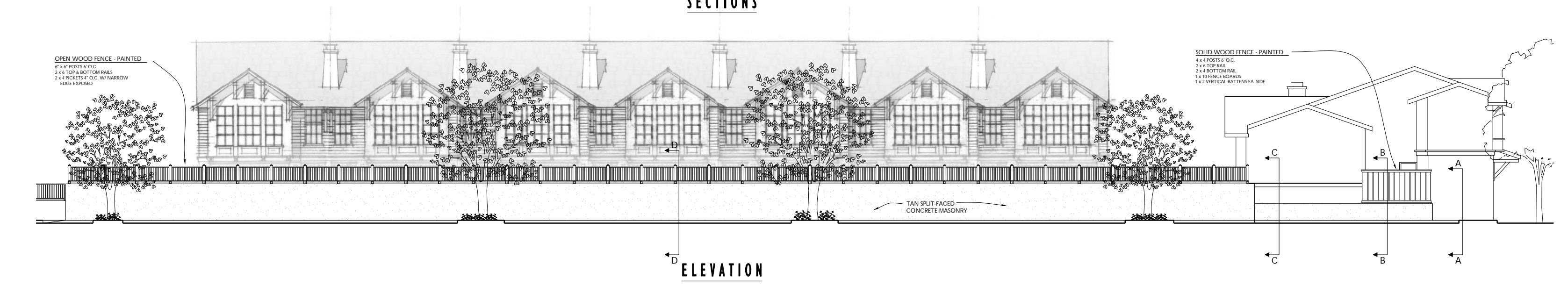
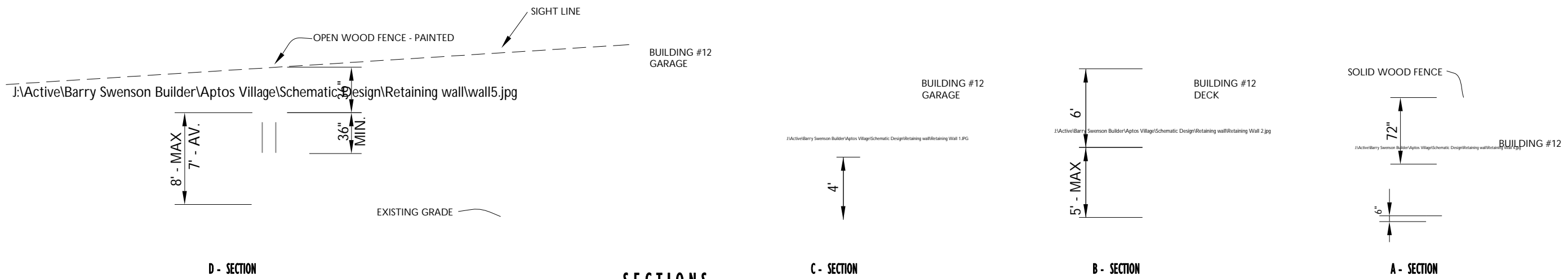
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
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MAY 5, 2011

0.11



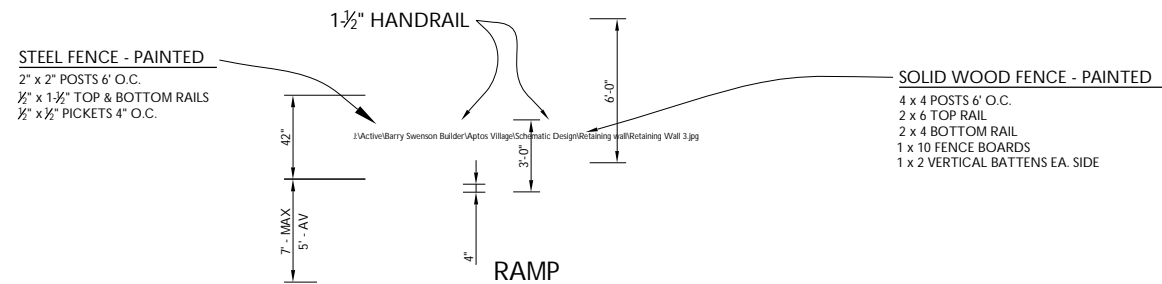
# RETAINING WALL AT BUILDING 12

## APTOS VILLAGE

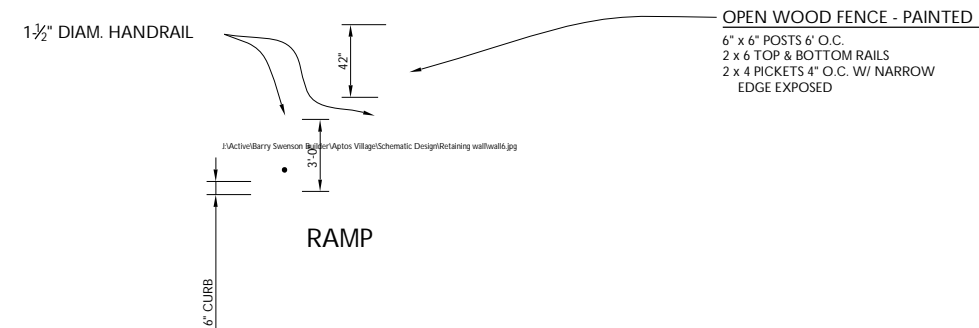
APN: 041-011-03, 20, 33

**BARRY SWENSON BUILDER**  
A DIVISION OF GREEN VALLEY CORP.

**THACHER & THOMPSON ARCHITECTS**  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

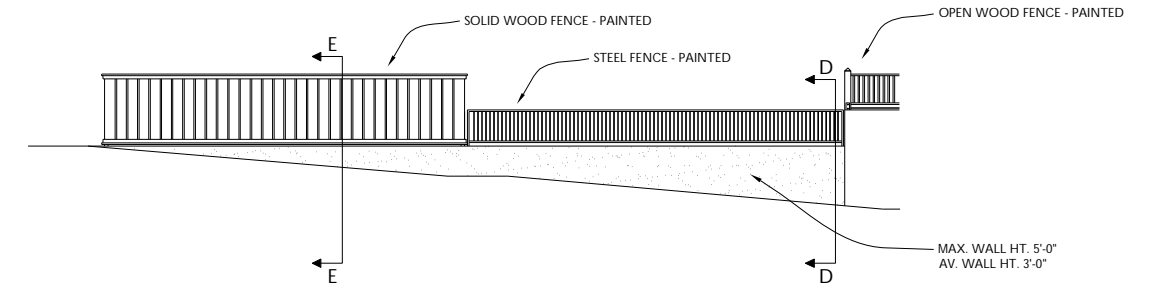
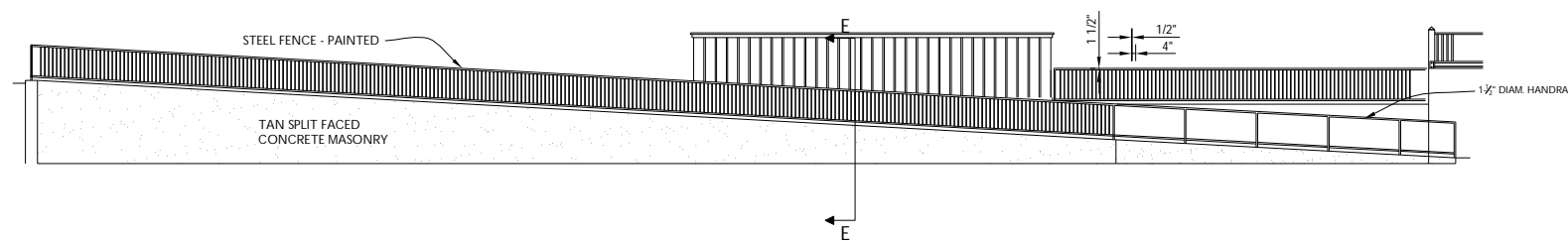


E - SECTION

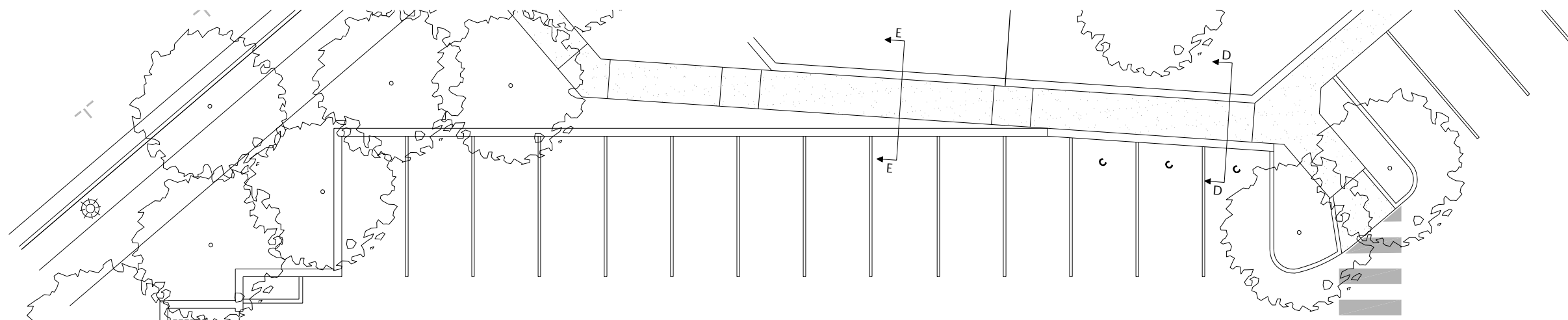


D - SECTION

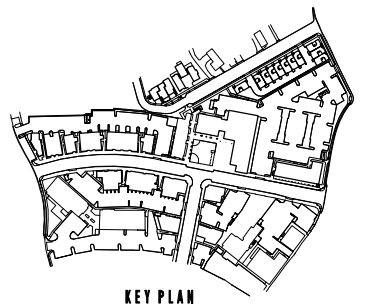
## SECTIONS



## ELEVATIONS



## PLAN



SCALE: 1/8" = 1'-0"  
 0' 4' 8' 16'



# RETAINING WALLS AT RAMP - BUILDING 12 APTOS VILLAGE

APN: 041-011-03, 20, 33

**BARRY SWENSON BUILDER**  
 A DIVISION OF GREEN VALLEY CORP.

**THACHER & THOMPSON ARCHITECTS**

OCTOBER 15, 2010  
 JANUARY 15, 2011  
 MAY 5, 2011





1



2



3



4



5



6



7



8



9



10



11



12



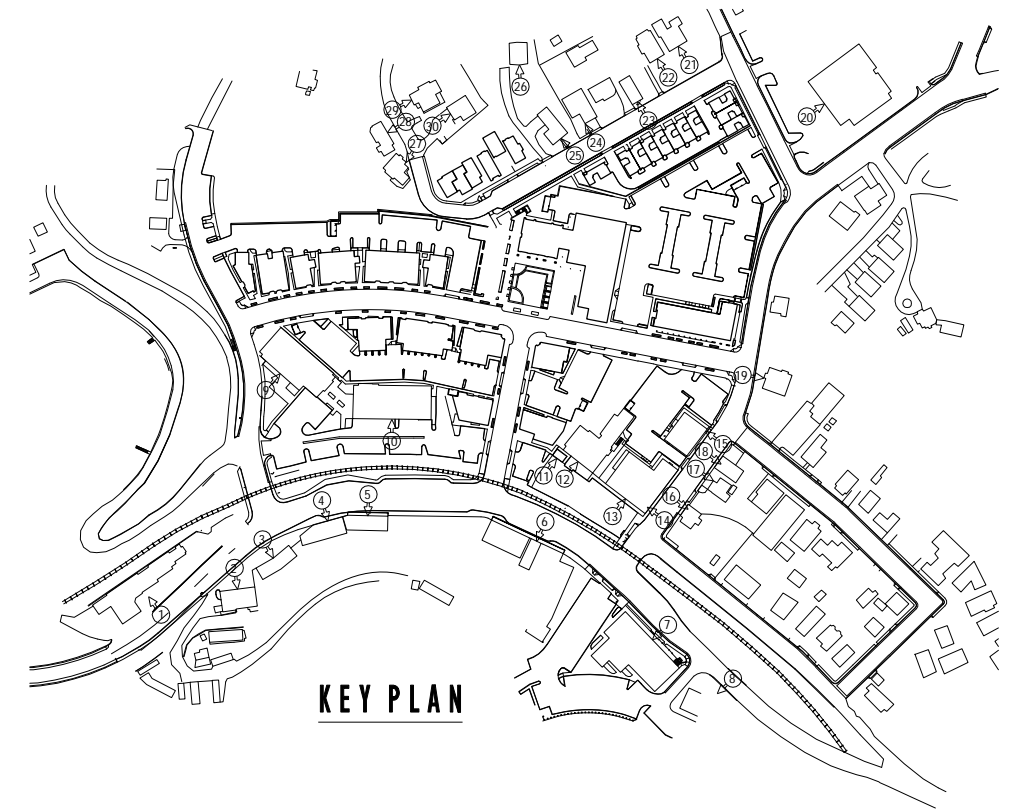
13



14



15



KEY PLAN

# NEIGHBORHOOD CONTEXT PHOTOGRAPHS APTOS VILLAGE

APN: 041-011-03, 20, 33

BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

0.14





16



17



18



19



20



21



22



23



24



25



26



27



28



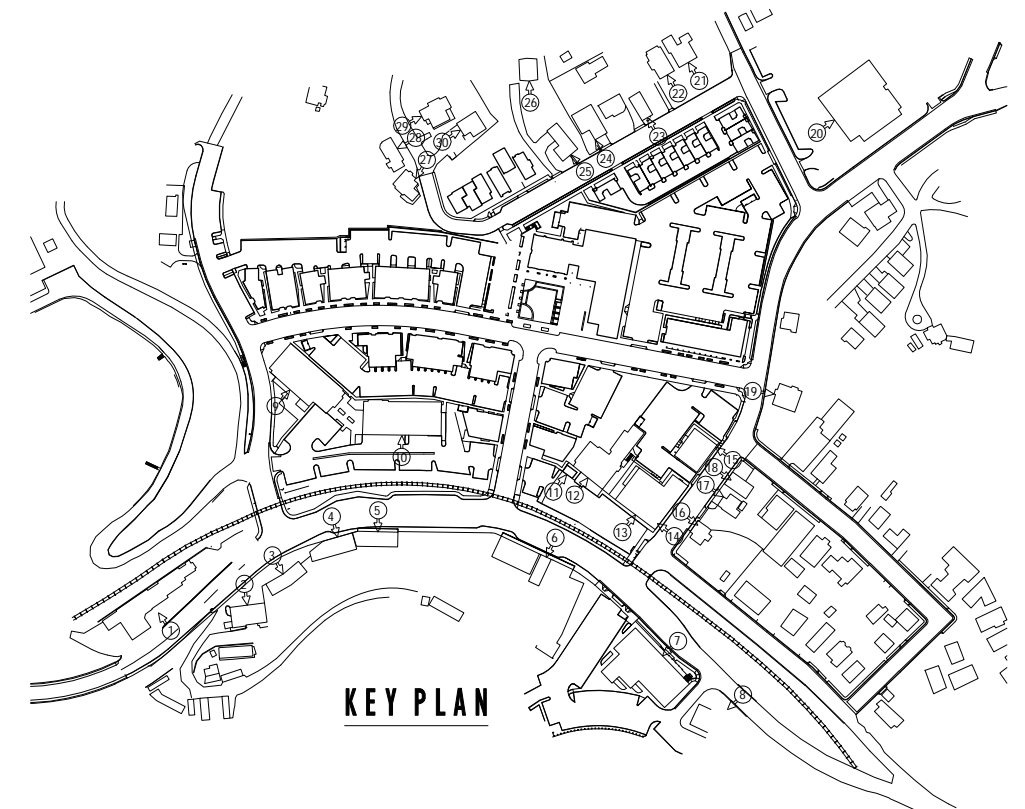
29



30



31



KEY PLAN

# NEIGHBORHOOD CONTEXT PHOTOGRAPHS

## APTOS VILLAGE

APN: 041-011-03, 20, 33



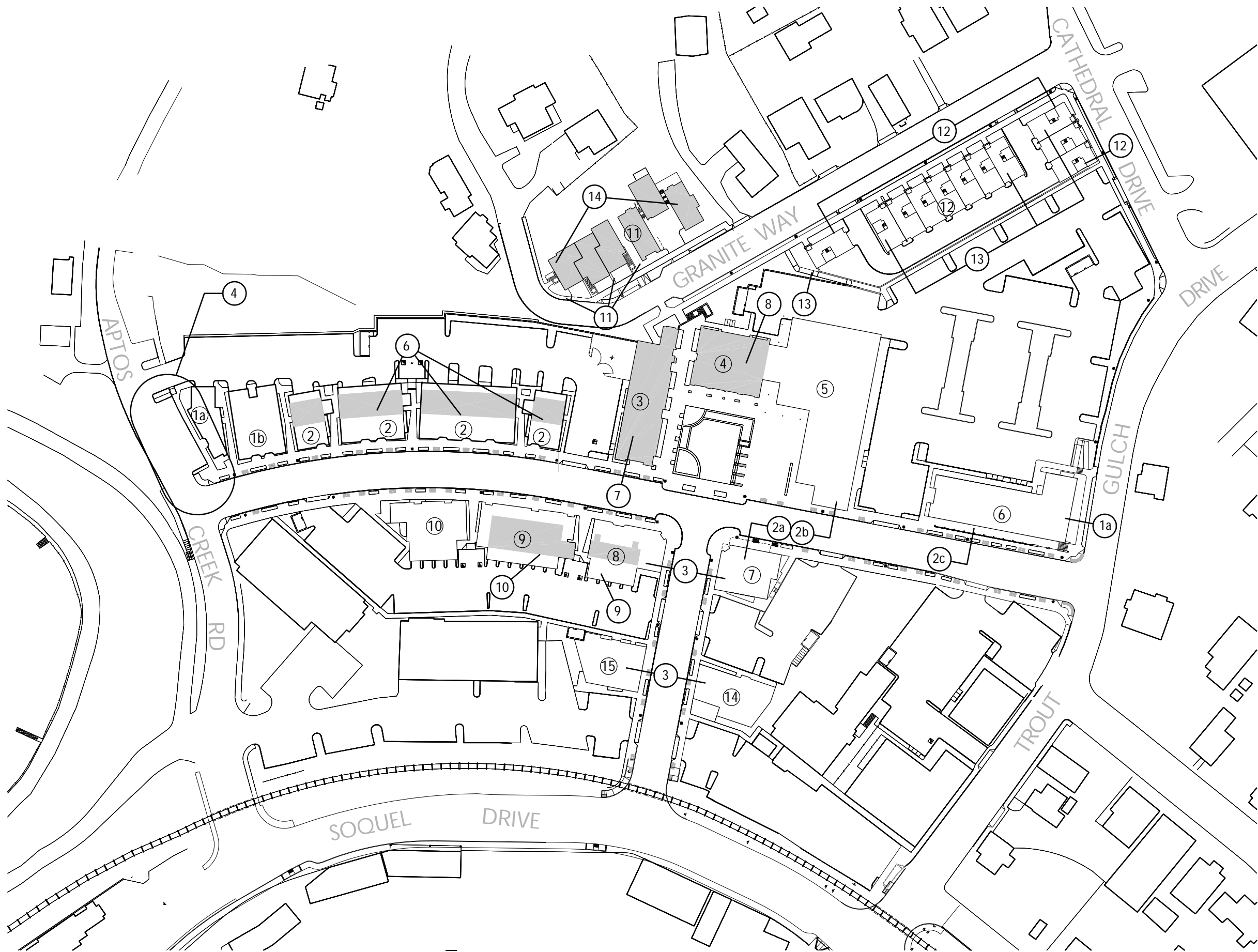
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

0.15





C-2 ZONE DISTRICT 13.10.333

Front yard set back 10' required yard reduction

- 1. Locations reduced for right of way dedications to sidewalks on County maintained roads. Reduced to 9'.
- 2. Locations with arcades at the sidewalk. Reduced to 3'-6" to 8'-6"
- 3. Locations with narrowed street width such as Parade Avenue. Reduce to 9'-6"
- 4. Anomalies, such as the parking area at the park entrance. Reduced to 2'-6"

Building height: The maximum building height allowed in the C-2 district is 35 feet. For reference, the Bay View Hotel is 48 feet tall. The following buildings require exceptions:

- 5. (Not Used)
- 6. Building # 2 40'
- 7. Building # 3 45'
- 8. Building # 4 45' + 6'-0" cupola
- 9. Building # 8 38'
- 10. Building # 9 37'

RM-2 RM-3 ZONE DISTRICT 13.10.323

Set backs

- 11. Front yard set back reduced from 15 feet to 6 feet, 10 feet, & 12 feet on Granite way Building #11 and reduced to 6 feet at the corner of Village Drive as the result of right of way dedications.
- 12. Front yard set back reduced from 15 feet to 8 feet at the Granite Way frontage of Building #12 and to 2 feet on the Cathedral Drive frontage as the result of right of way dedications. Granite Way and Cathedral Drive each have existing 40' right of ways. The right of way dedication at Granite way is 8 feet. The right of way dedication at Cathedral Drive is 10 feet. Bay windows in the second floor master bedrooms of building #12 are cantilevered 16" beyond the floor walls. The master bedrooms of building #12 project 8" beyond the first floor wall to provide additional canopy cover at the entrances below.
- 13. Interior setbacks between units are reduced to zero for townhouse construction in Building #12. Building #3 has a rear yard setback at Granite Way that is reduced from 20 feet to 5 feet. Unit 1 and 11 in Building #12 have side yard setbacks reduced from 5 feet to 1.5 feet, and rear yard setbacks reduced from 15 feet to 1.5 feet.

Building height: The maximum building height allowed in the RM-2 & RM-3 districts is 28 feet. Additionally, the basement garages in building #11 would normally be classified as a third story in as RM district. The Aptos Village Plan specifically allows garages on the ground or basement level, with two floors of housing above. This building configuration should be recognized by acknowledging an exception to th RM standard for stories. The following building requires exceptions:

- 14. Building # 11 36' - 3 stories  
SEE SHEET 0.17 FOR GRAPHIC DESCRIPTIONS

15. Coverage: Building #12 has a building coverage ratio of 40.4 % which requires an exception to the zone district standard of 40 %

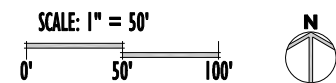
16. FAR: Building #11 has an FAR of 0.77 which requires an exception to the zone district standard of 0.5. Building #12 has an FAR of 0.73 which requires an exception to the zone district standard of 0.5.

WALLS & FENCES:

Walls, fences and combinations of walls and fences are limited to 6 feet in height unless an exception is granted. The wall / fence exception is required for the walls and fences that are delineated on sheets 0.10, 0.11, 0.12, and 0.13.

STREET CURB RETURNS:

The intersections of the east-west street and Aptos Creek Road and Trout Gulch Road as well as the intersection of Granite Way and Cathedral Drive are designed with a 10 foot radius for the street curb returns. This will require an exception to the County's standard of a 20 foot radius.



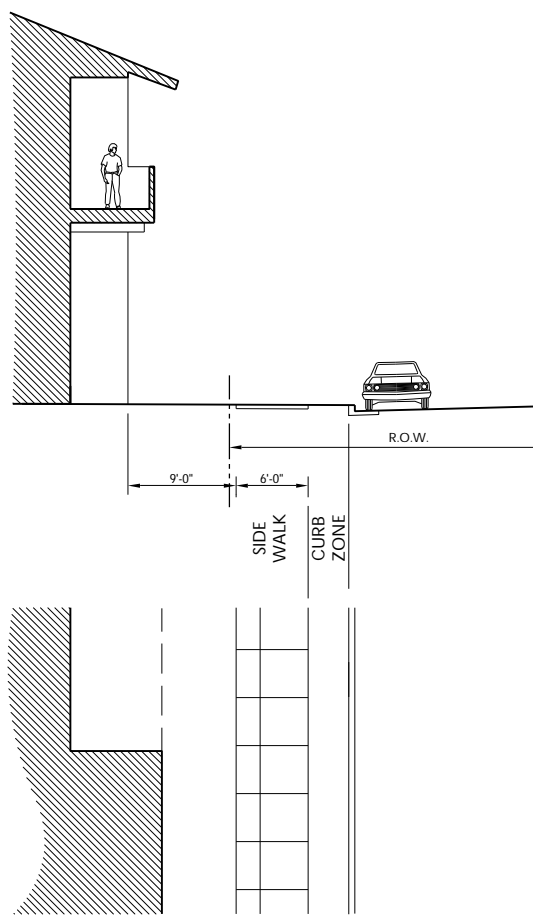
APN: 041-011-03, 20, 33

ZONING EXCEPTIONS PLAN  
APTOS VILLAGE

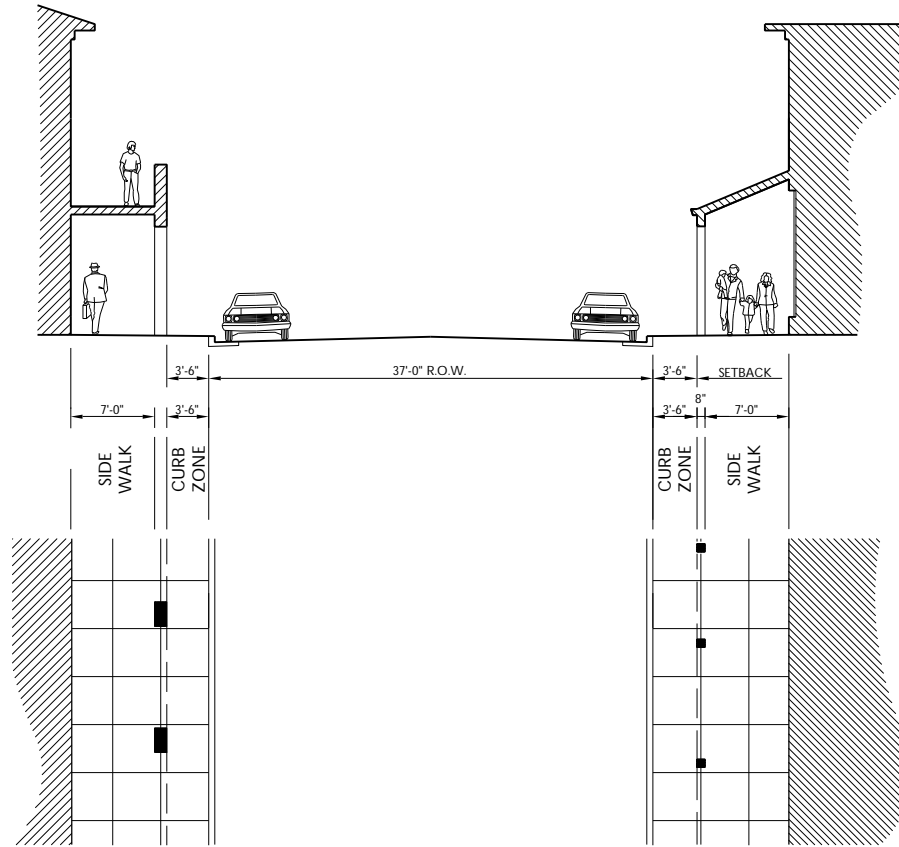
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS

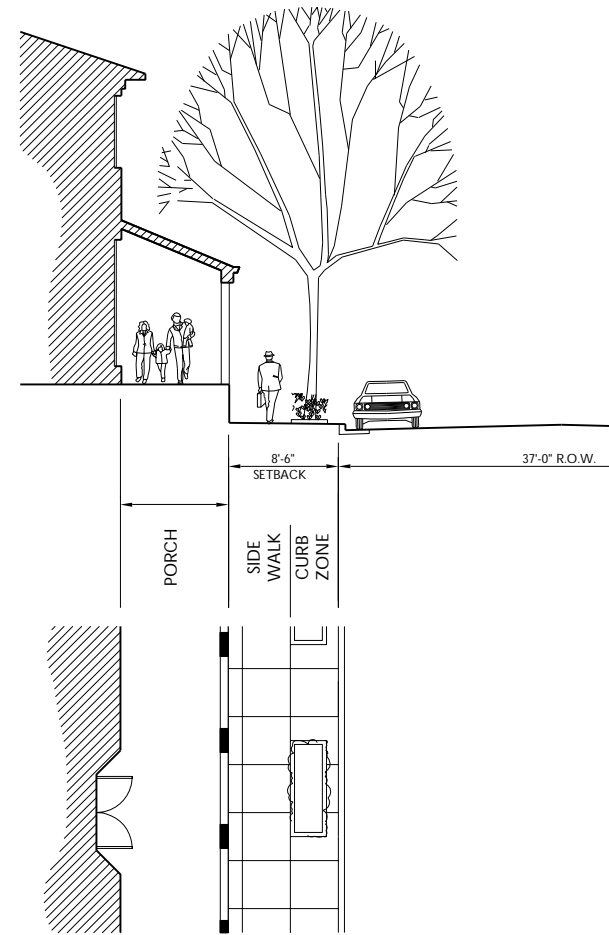
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



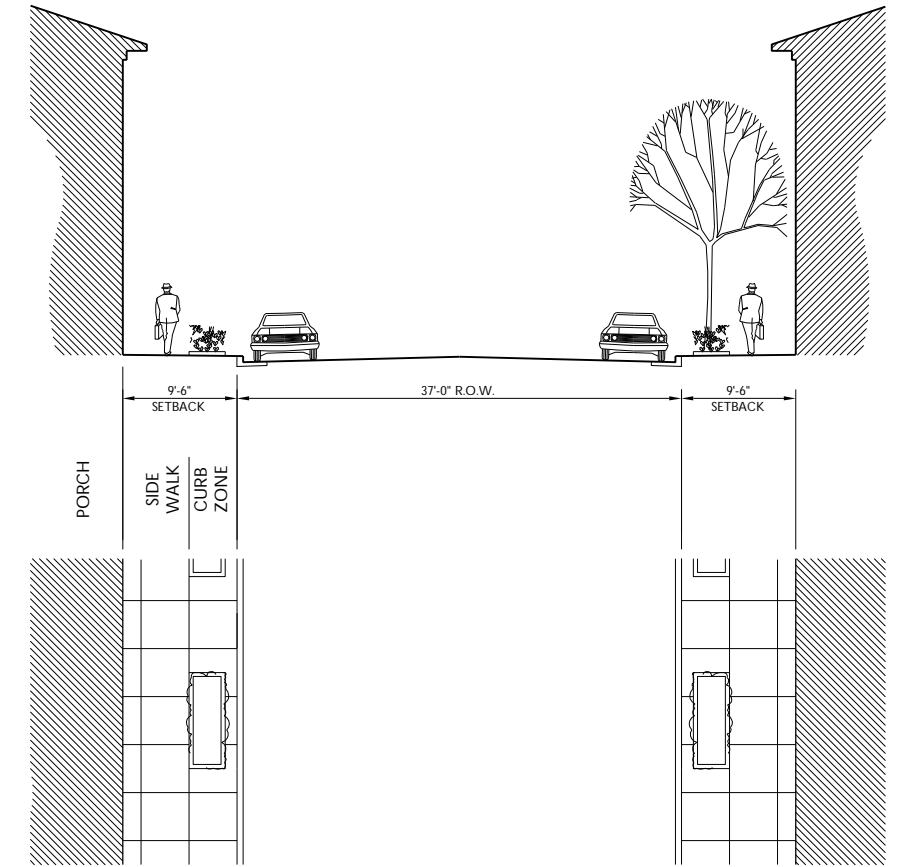
BUILDING 6



BUILDING 7



BUILDING 5



BUILDING 8  
BUILDING 15

BUILDING 7  
BUILDING 14

## EXCEPTION 1a

Locations reduced for right of way dedications to accommodate sidewalk on County maintained roads.

## EXCEPTION 2a

Locations with arcades at the sidewalk.

## EXCEPTION 2b

Locations with arcades at the sidewalk.

## EXCEPTION 2c

Locations with arcades at the sidewalk.

## EXCEPTION 3

Locations with reduced sidewalk width such as Parade Avenue.

### C-2 ZONE DISTRICT 13.10.333

Building height: The maximum building height allowed in the C-2 district is 35 feet. The following buildings require exceptions:

- 5. (Not Used)
- 6. Building # 2 40'
- 7. Building # 3 45'
- 8. Building # 4 45' + 6' cupola
- 9. Building # 8 38'
- 10. Building # 9 37'

Reference Ht: Bayview Hotel 48' per calculation by Gary Ifland, licenced surveyor 3-24-10

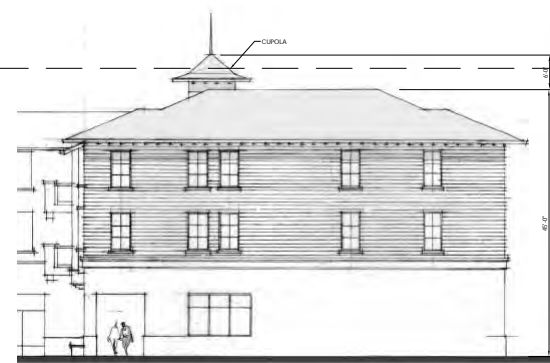
### RM-2 RM-3 ZONE DISTRICT 13.10.323

Building height: The maximum building height allowed in the RM-2 & RM-3 districts is 28 feet. The following building requires exceptions:

- 13. Building # 11 36'



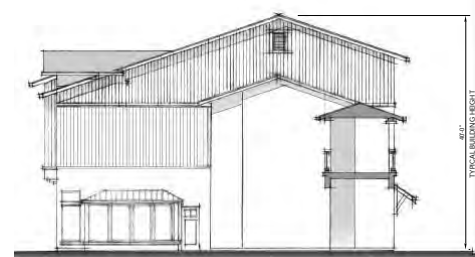
⑦ BUILDINGS 3 WEST ELEVATION



⑧ BUILDINGS 4 EAST ELEVATION



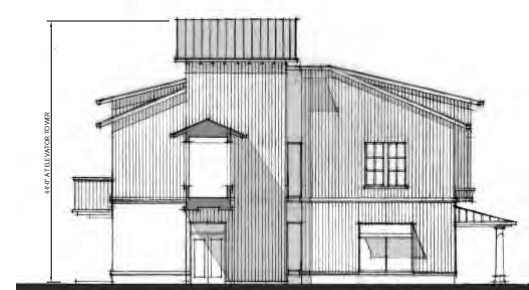
VIEW OF THE BAYVIEW HOTEL



⑥ BUILDINGS 2 EAST ELEVATION



⑨ BUILDINGS 8 EAST ELEVATION



⑩ BUILDINGS 9 EAST ELEVATION

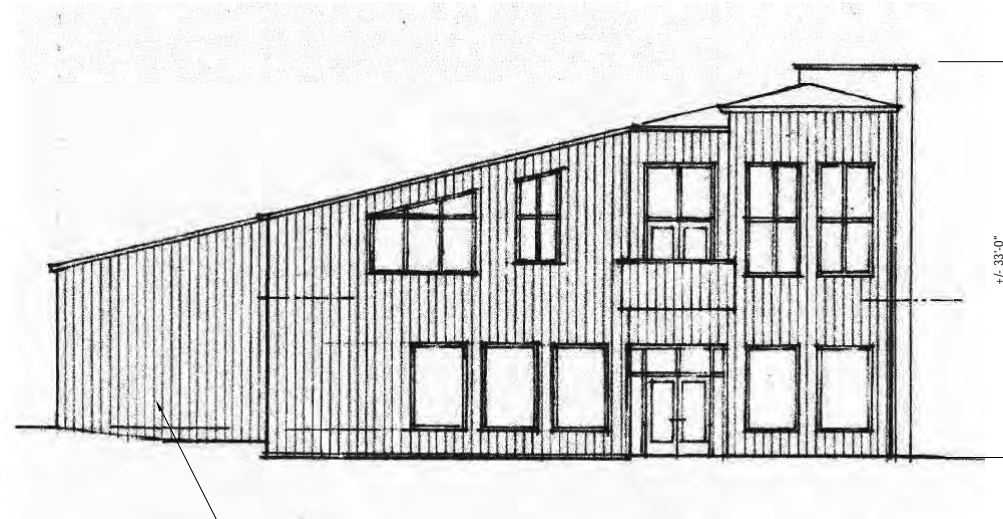


⑬ BUILDINGS 11 EAST ELEVATION

## ZONING EXCEPTIONS DESCRIPTION

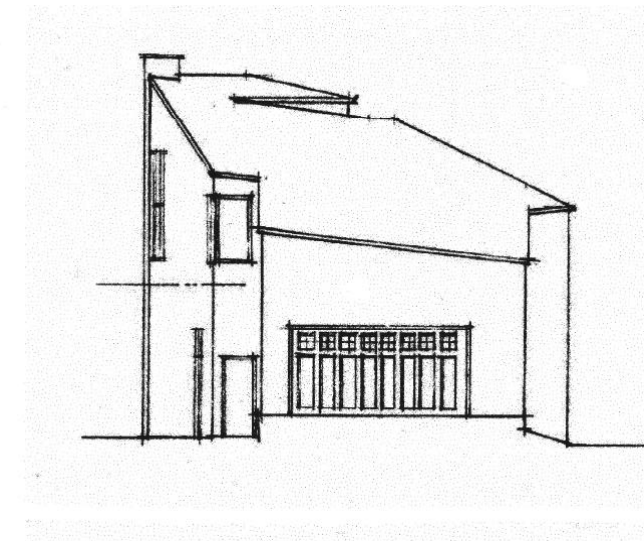
## APTOS VILLAGE



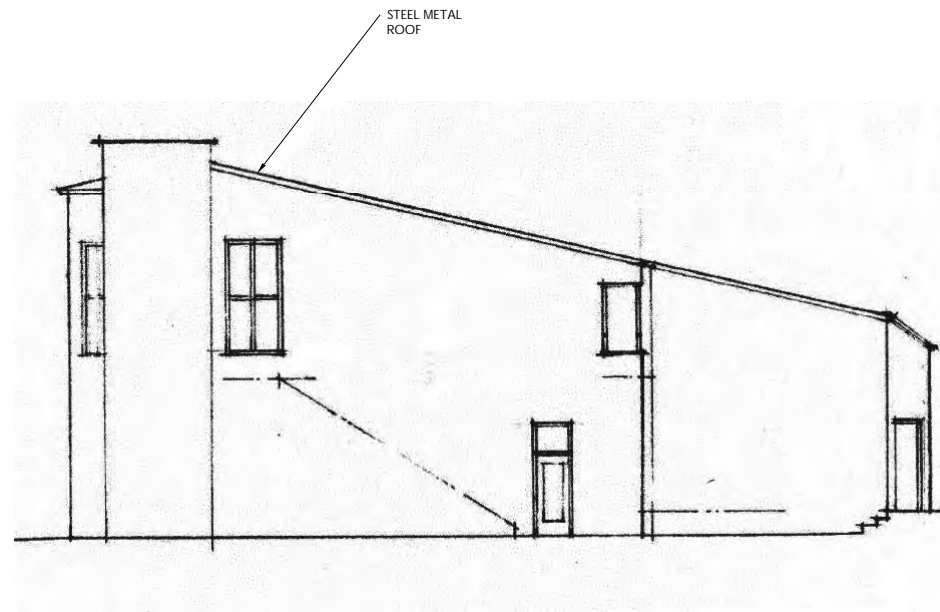


HORIZONTAL  
SIDING (ALL SIDES)

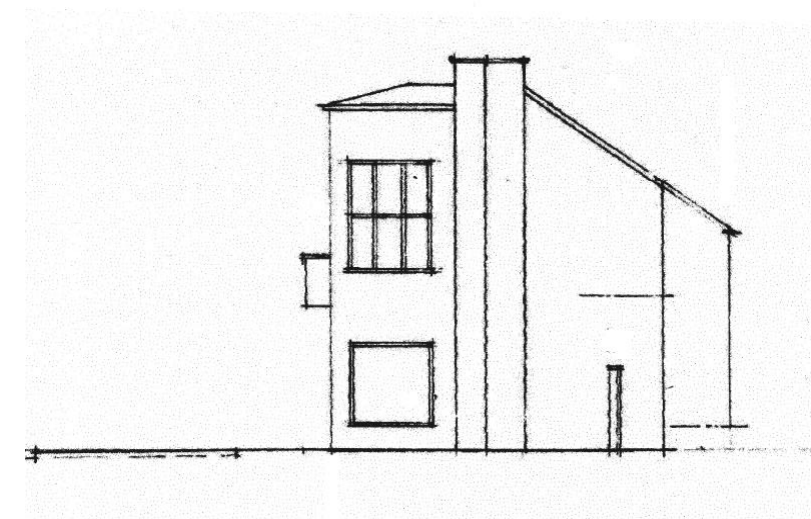
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



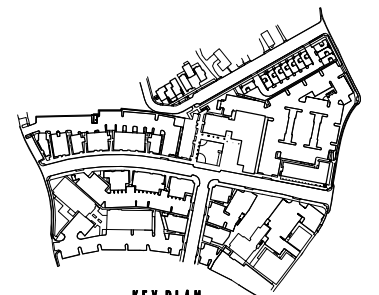
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**KEY PLAN**

SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

# BUILDING 1a ELEVATIONS

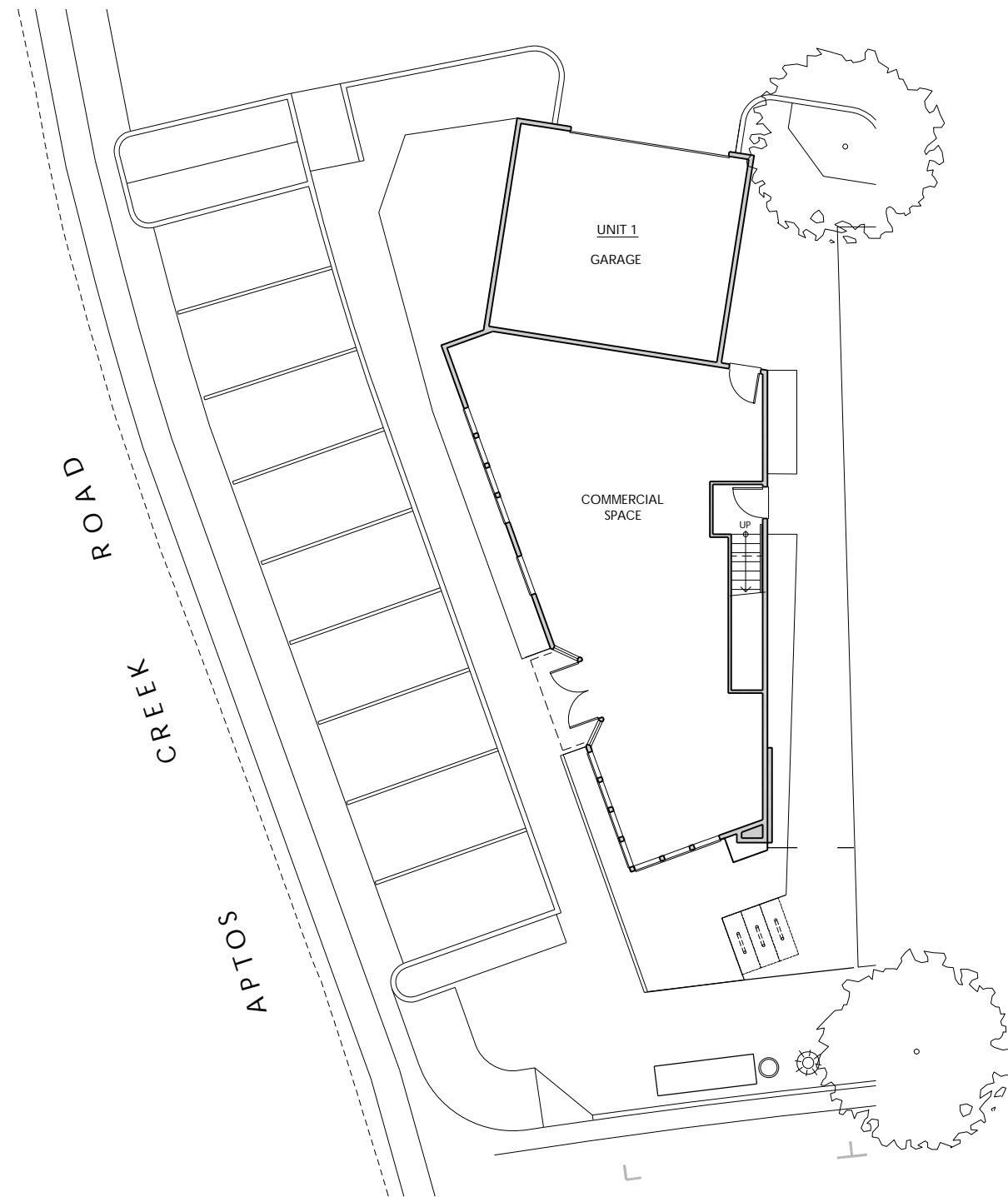
## APTOS VILLAGE



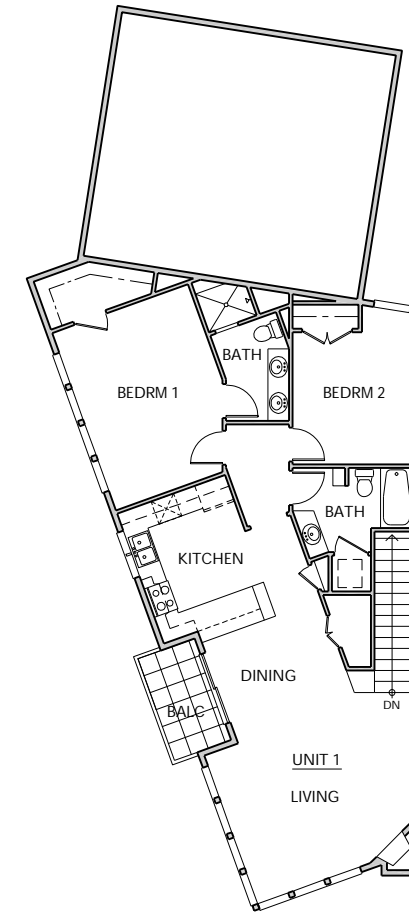
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS  
NOVEMBER 9, 2009  
JANUARY 15, 2011  
MAY 5, 2011

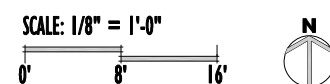
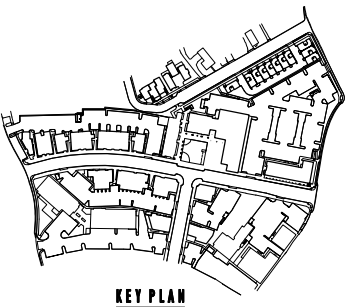


**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

<b>BUILDING 1A - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	1,030 SF
NET COMMERCIAL	881 SF
GARAGE	504 SF
TOTAL BUILDING AREA	
= BUILDING COVERAGE	1,540 SF
<b>SECOND FLOOR</b>	
RESIDENTIAL	1,112 SF
TOTAL BUILDING AREA	1,112 SF



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## BUILDING 1A & SECOND FLOOR PLANS

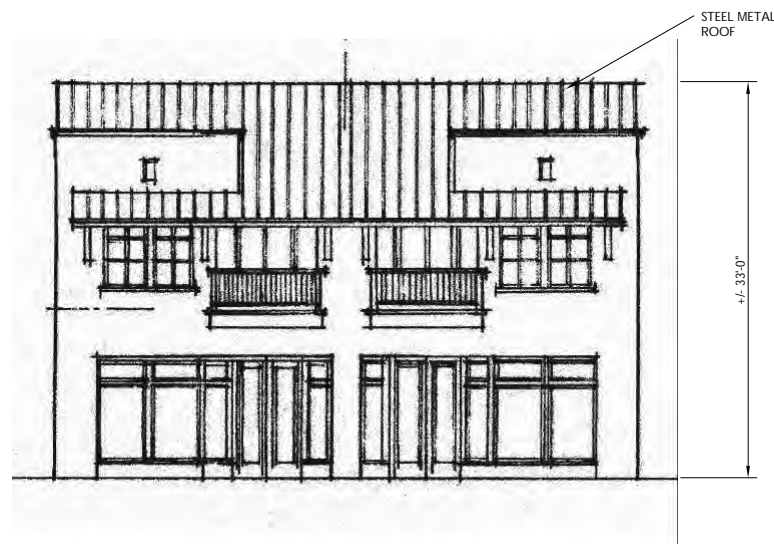
### APTOS VILLAGE



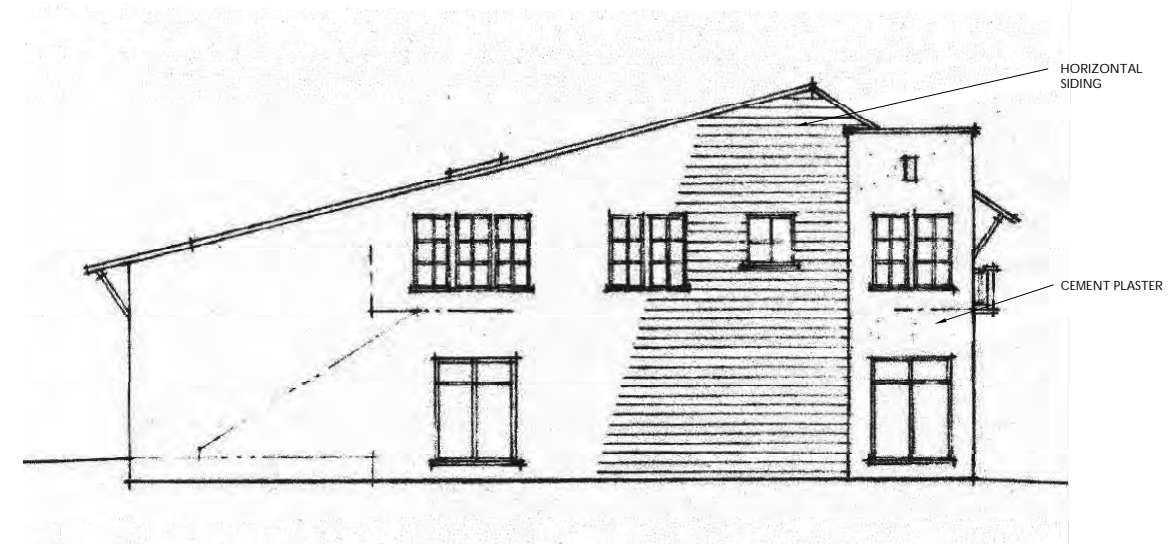
BARRY SWENSON BUILDER  
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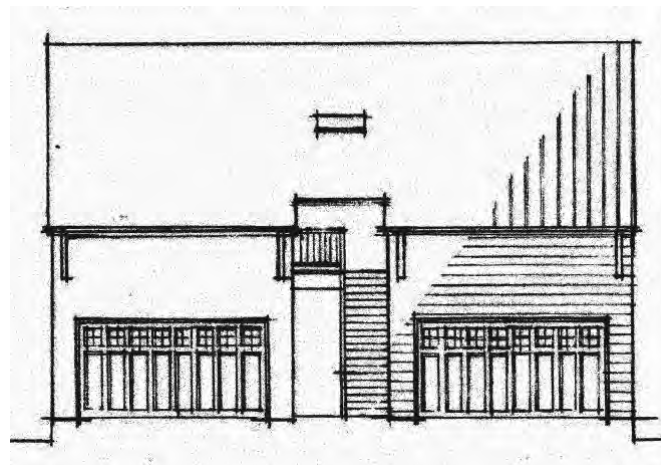
THACHER & THOMPSON ARCHITECTS  
JANUARY 15, 2011  
MAY 5, 2011



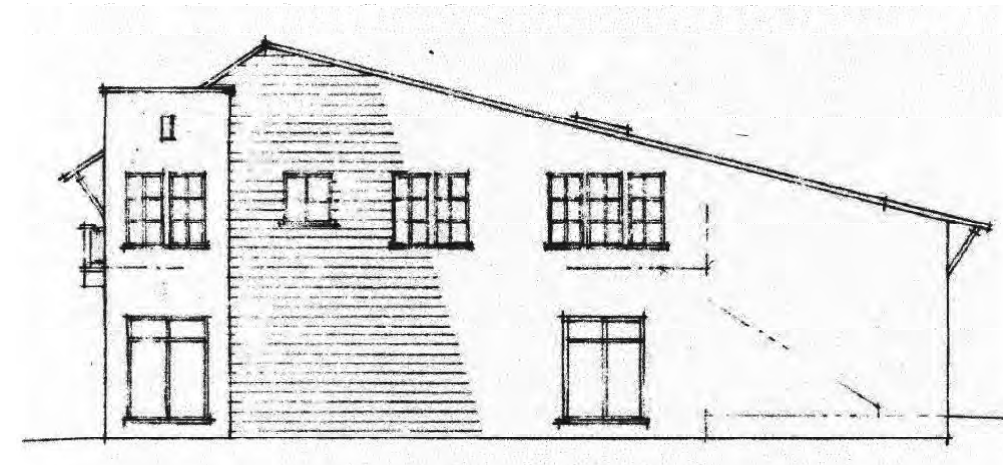
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



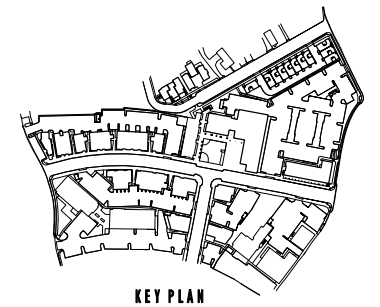
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



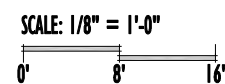
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**KEY PLAN**



APN: 041-011-03, 20, 33

## BUILDING 1b ELEVATIONS

### APTOS VILLAGE

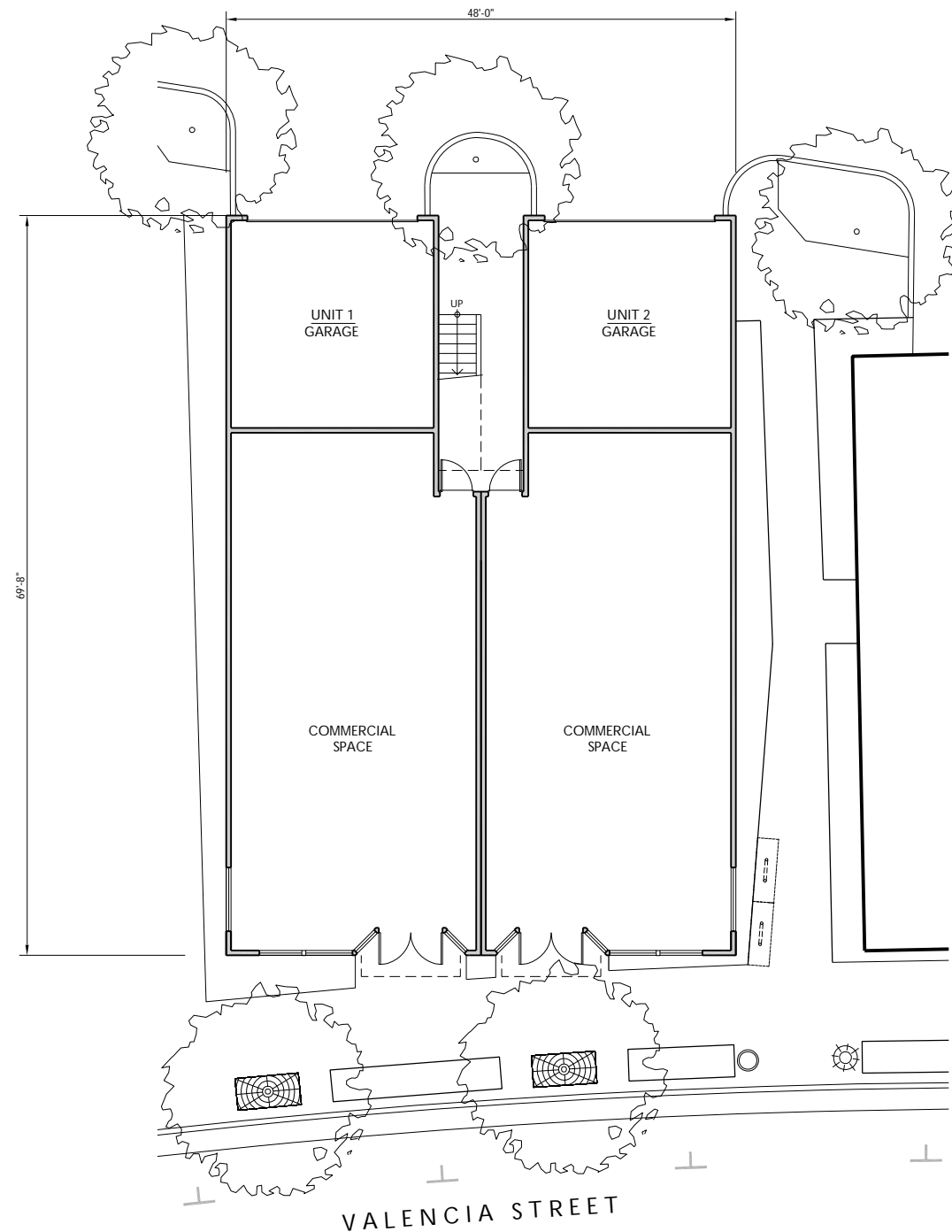


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

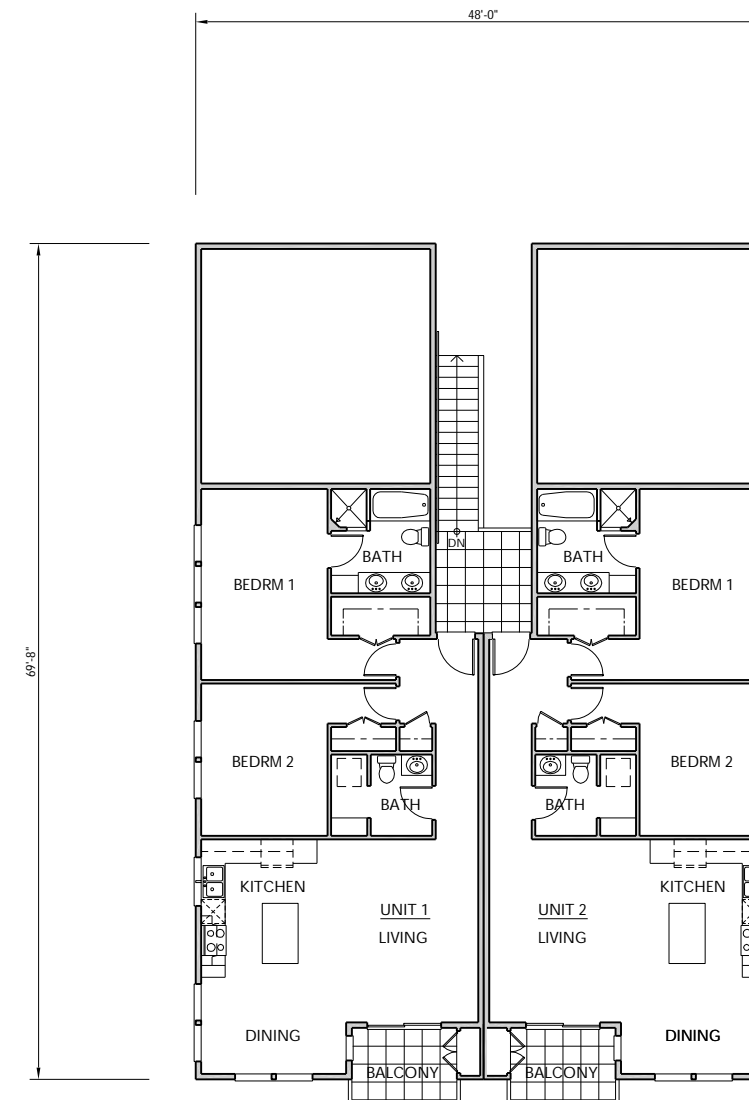


THACHER & THOMPSON ARCHITECTS

NOVEMBER 9, 2009  
JANUARY 15, 2011  
MARCH 1, 2011  
MAY 5, 2011

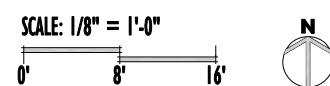
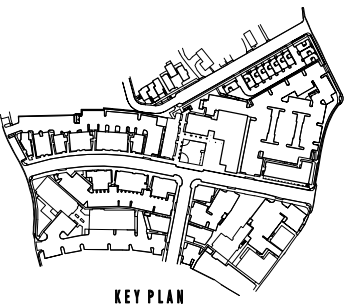


**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

<b>BUILDING 1B - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	2,079 SF
NET COMMERCIAL	1,767 SF
GARAGES	810 SF
TOTAL BUILDING AREA	
= BUILDING COVERAGE	2,889 SF
<b>SECOND FLOOR</b>	
RESIDENTIAL	2,208 SF
RESIDENTIAL COMMON AREA	68 SF
= BUILDING COVERAGE	2,276 SF



APN: 041-011-03, 20, 33

## BUILDING 1B & SECOND FLOOR PLANS

### APTOS VILLAGE



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



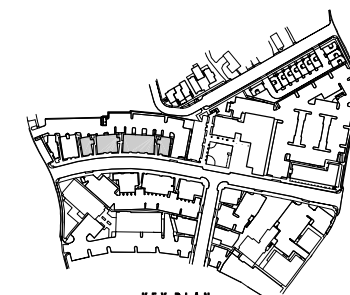
THACHER & THOMPSON ARCHITECTS  
JANUARY 15, 2011  
MAY 5, 2011



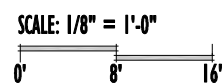
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



KEY PLAN



APN: 041-011-03, 20, 33

# **BUILDING 2 ELEVATIONS** **APTOS VILLAGE**



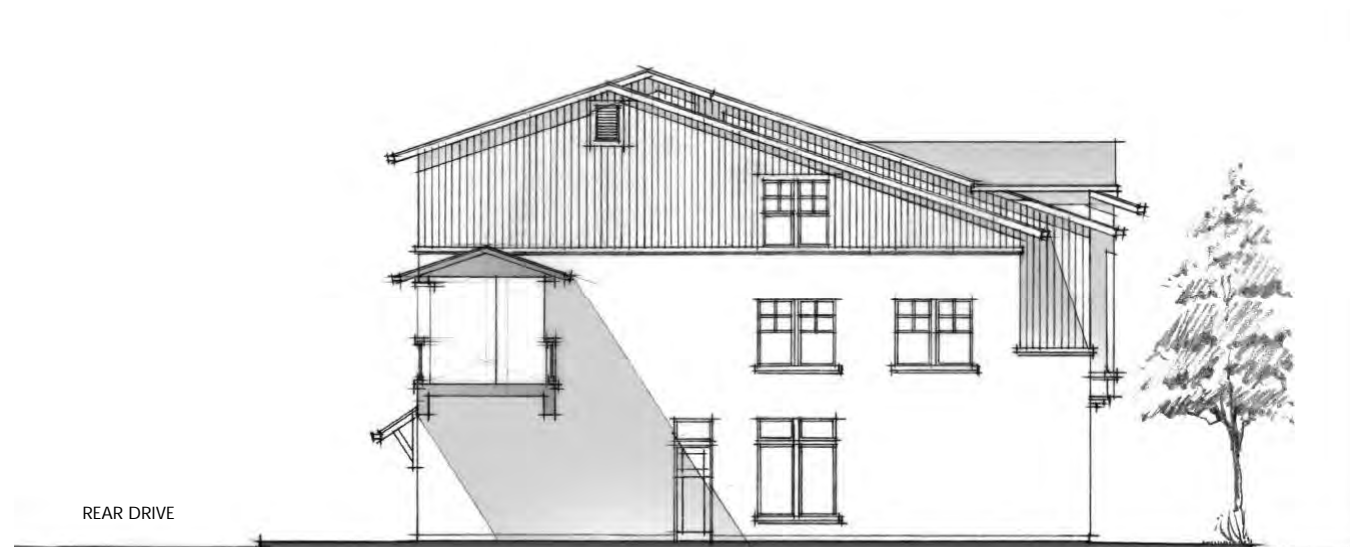
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



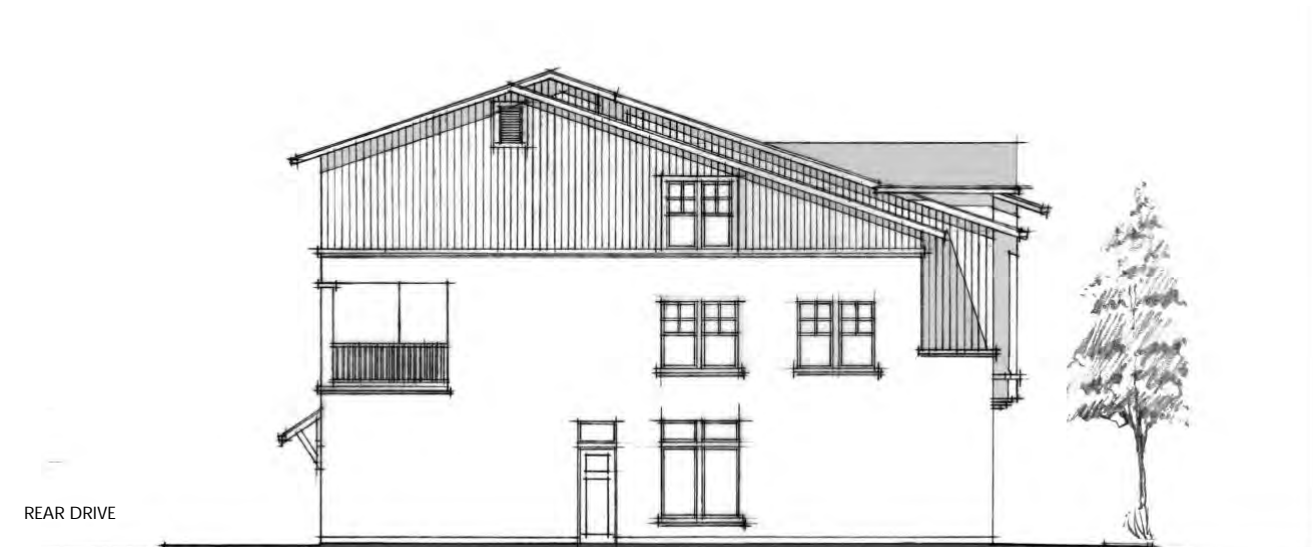
THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

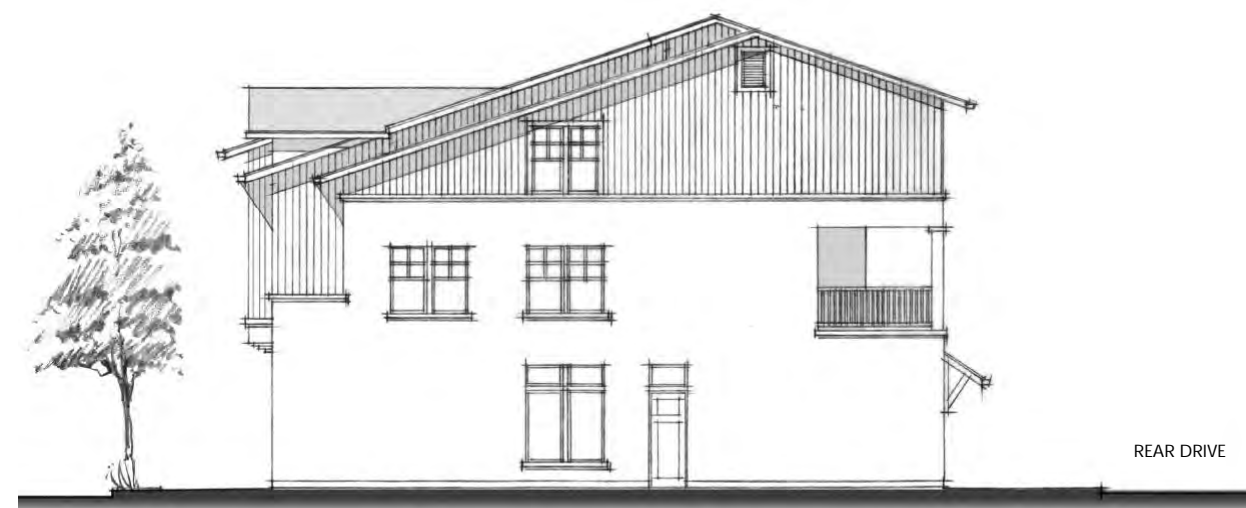




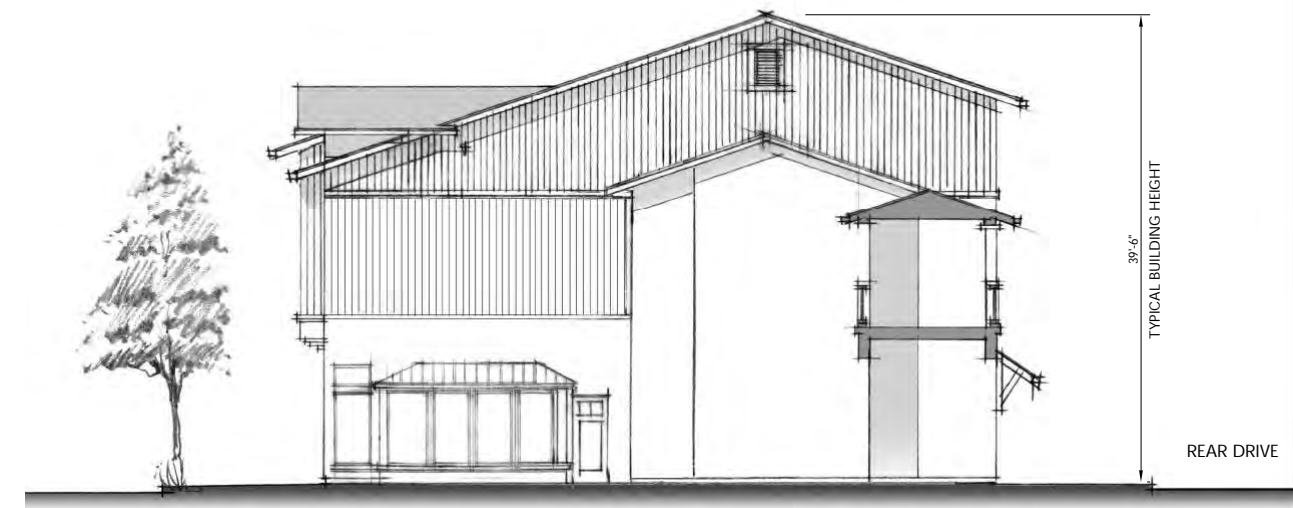
WEST ELEVATION AT STAIRS



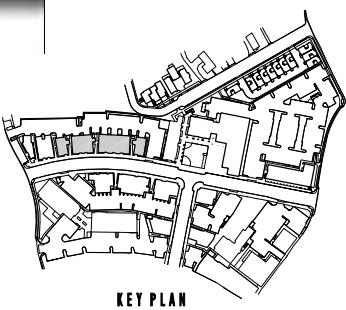
WEST ELEVATION



EAST ELEVATION



EAST ELEVATION AT ELEVATOR



KEY PLAN

SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

# BUILDING 2 ELEVATIONS

## APTOS VILLAGE

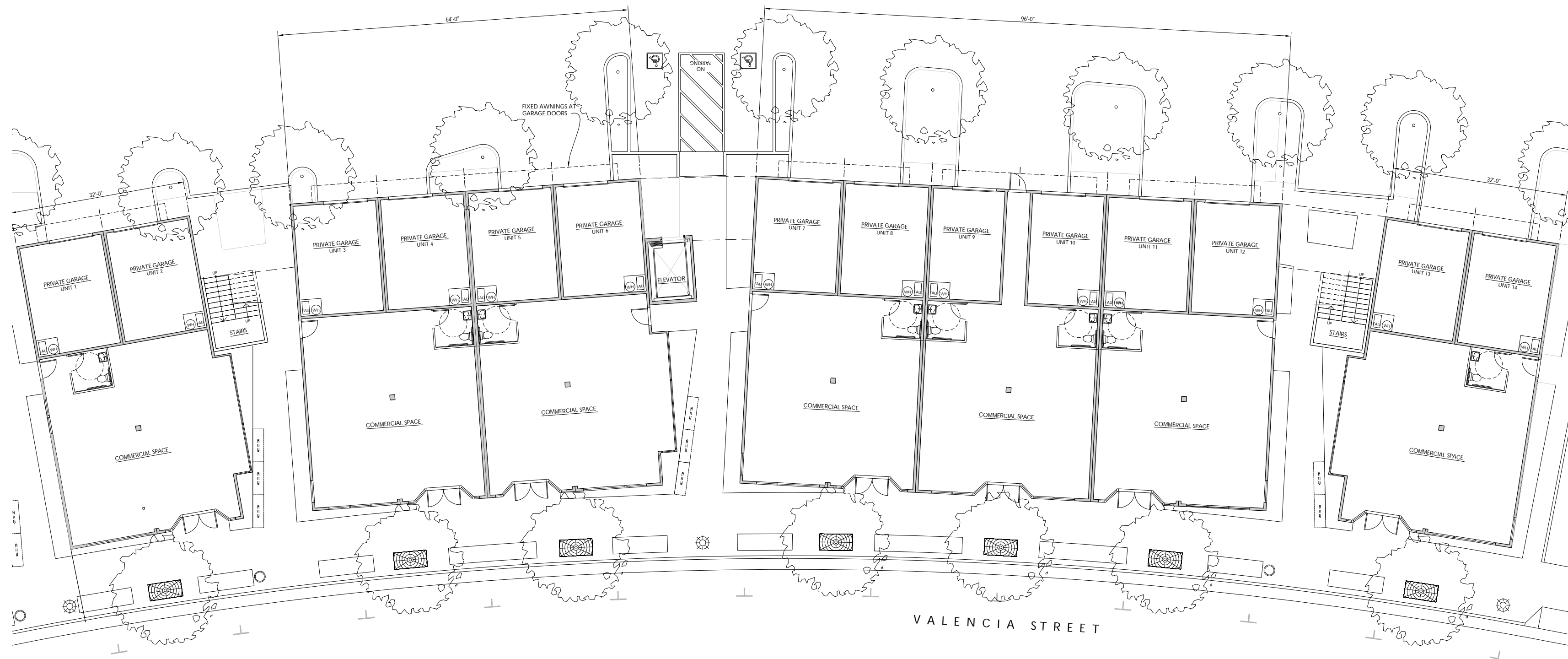


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



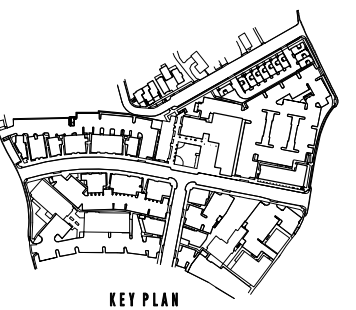
THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



## FIRST FLOOR PLAN

BUILDING 2 - FIRST FLOOR	
COMMERCIAL (GROSS)	7,385 SF
NET COMMERCIAL	6,277 SF
GARAGE	4,552 SF
RESIDENTIAL COMMON AREA	373 SF
TOTAL BUILDING AREA	12,310 SF



KEY PLAN

SCALE: 1/8" = 1'-0"



## BUILDING 2 FIRST FLOOR PLAN

### APTOS VILLAGE

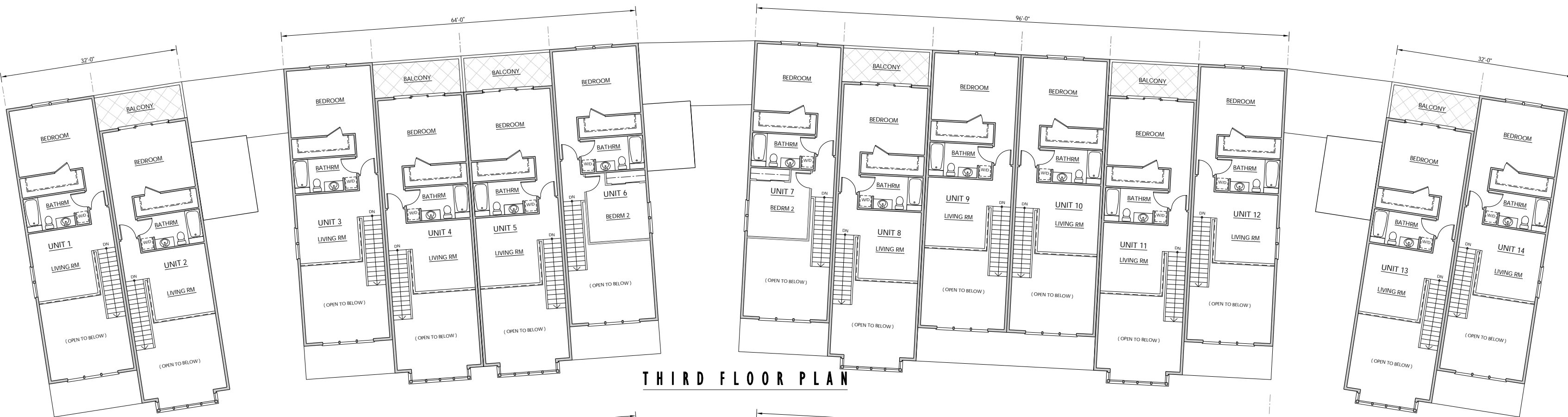


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

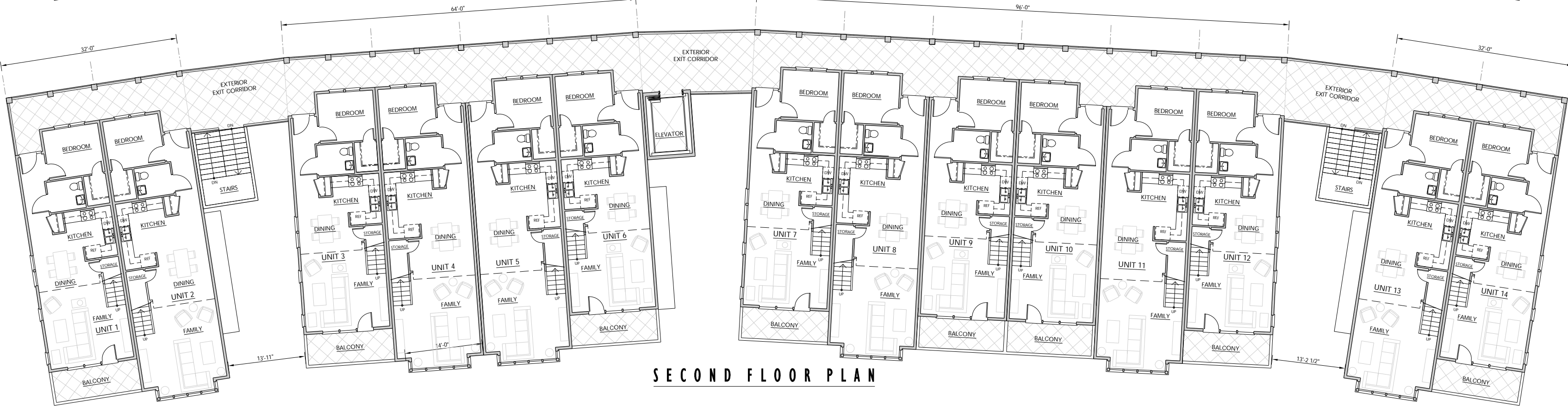


THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MARCH 1, 2011  
MAY 5, 2011



THIRD FLOOR PLAN



SECOND FLOOR PLAN

**BUILDING 2 - SECOND FLOOR**

RESIDENTIAL		BALCONY	
UNIT 1	676 SF	UNIT 1	96 SF
UNIT 2	794 SF	UNIT 2	96 SF
UNIT 3	676 SF	UNIT 3	96 SF
UNIT 4	794 SF	UNIT 4	96 SF
UNIT 5	794 SF	UNIT 5	96 SF
UNIT 6	676 SF	UNIT 6	96 SF
UNIT 7	676 SF	UNIT 7	96 SF
UNIT 8	794 SF	UNIT 8	96 SF
UNIT 9	676 SF	UNIT 9	96 SF
UNIT 10	676 SF	UNIT 10	96 SF
UNIT 11	794 SF	UNIT 11	96 SF
UNIT 12	676 SF	UNIT 12	96 SF
UNIT 13	794 SF	UNIT 13	96 SF
UNIT 14	676 SF	UNIT 14	96 SF
		RESIDENTIAL COMMON AREA	2,757 SF

**BUILDING 2 - THIRD FLOOR**

RESIDENTIAL		BALCONY	
UNIT 1	533 SF	UNIT 1	104 SF
UNIT 2	533 SF	UNIT 2	104 SF
UNIT 3	533 SF	UNIT 3	104 SF
UNIT 4	533 SF	UNIT 4	104 SF
UNIT 5	533 SF	UNIT 5	104 SF
UNIT 6	533 SF	UNIT 6	104 SF
UNIT 7	533 SF	UNIT 7	104 SF
UNIT 8	533 SF	UNIT 8	104 SF
UNIT 9	533 SF	UNIT 9	104 SF
UNIT 10	533 SF	UNIT 10	104 SF
UNIT 11	533 SF	UNIT 11	104 SF
UNIT 12	533 SF	UNIT 12	104 SF
UNIT 13	533 SF	UNIT 13	104 SF
UNIT 14	533 SF	UNIT 14	104 SF

SCALE: 1/8" = 1'-0"

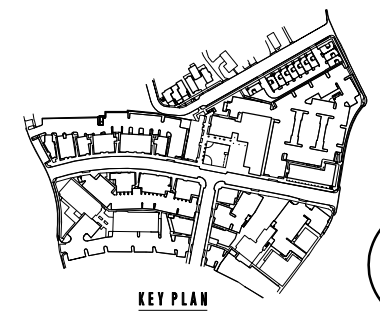
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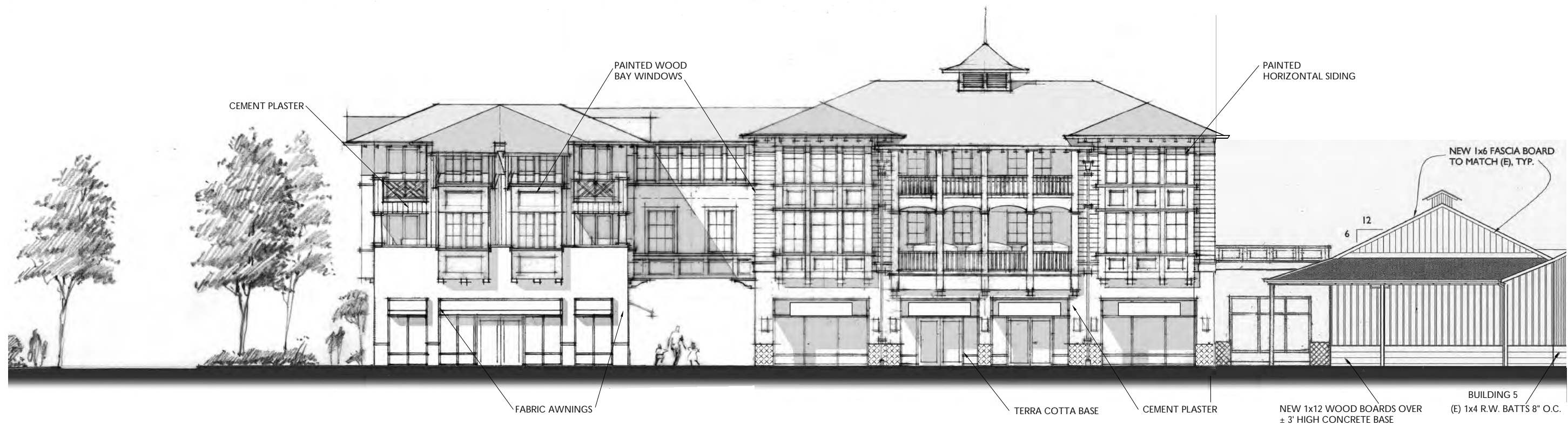
# BUILDING 2 APTOS VILLAGE

BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

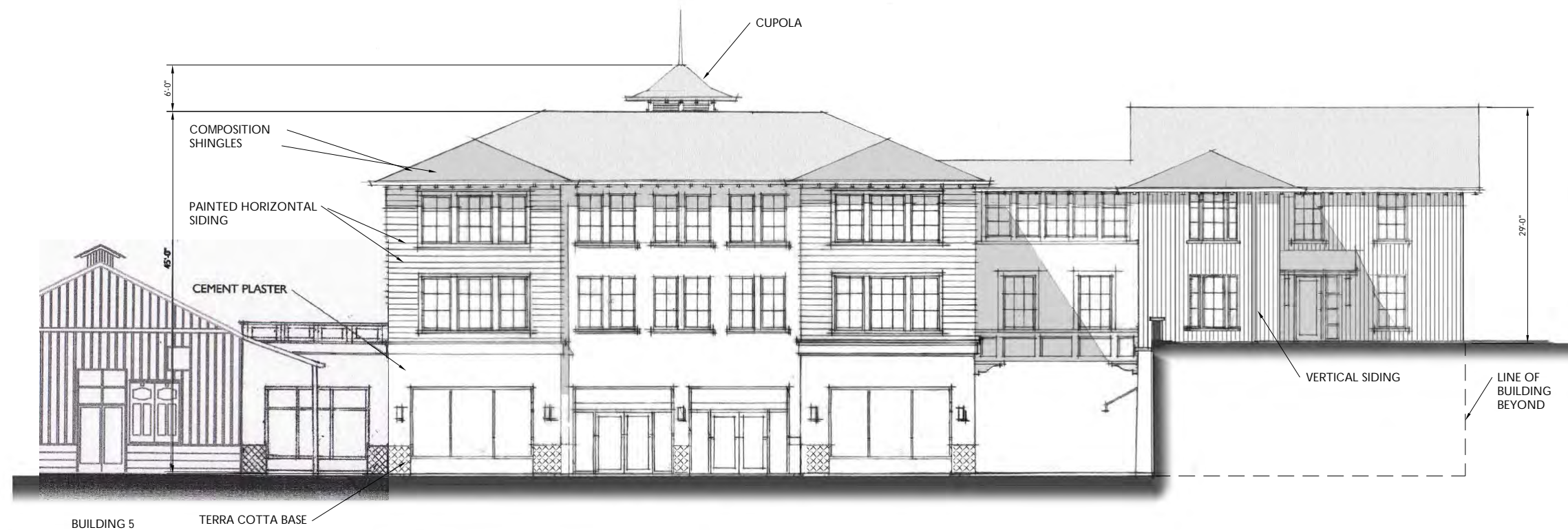
THACHER & THOMPSON ARCHITECTS  
NOVEMBER 9, 2009  
MARCH 1, 2011  
MAY 5, 2011



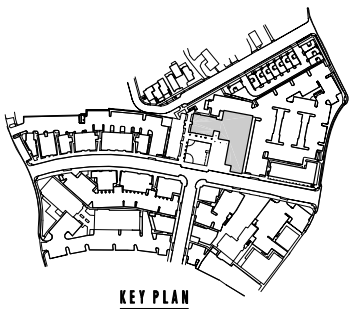




**SOUTH ELEVATION**



**NORTH ELEVATION**



SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

**BUILDINGS 3 & 4 ELEVATIONS**  
**APTOS VILLAGE**



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



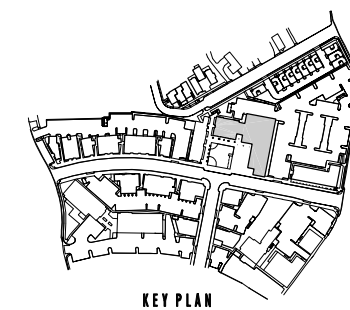
THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



EAST ELEVATION



WEST ELEVATION



SCALE: 1/8" = 1'-0"  
0' 8' 16'

**BUILDING 3 ELEVATIONS**  
**APTOS VILLAGE**



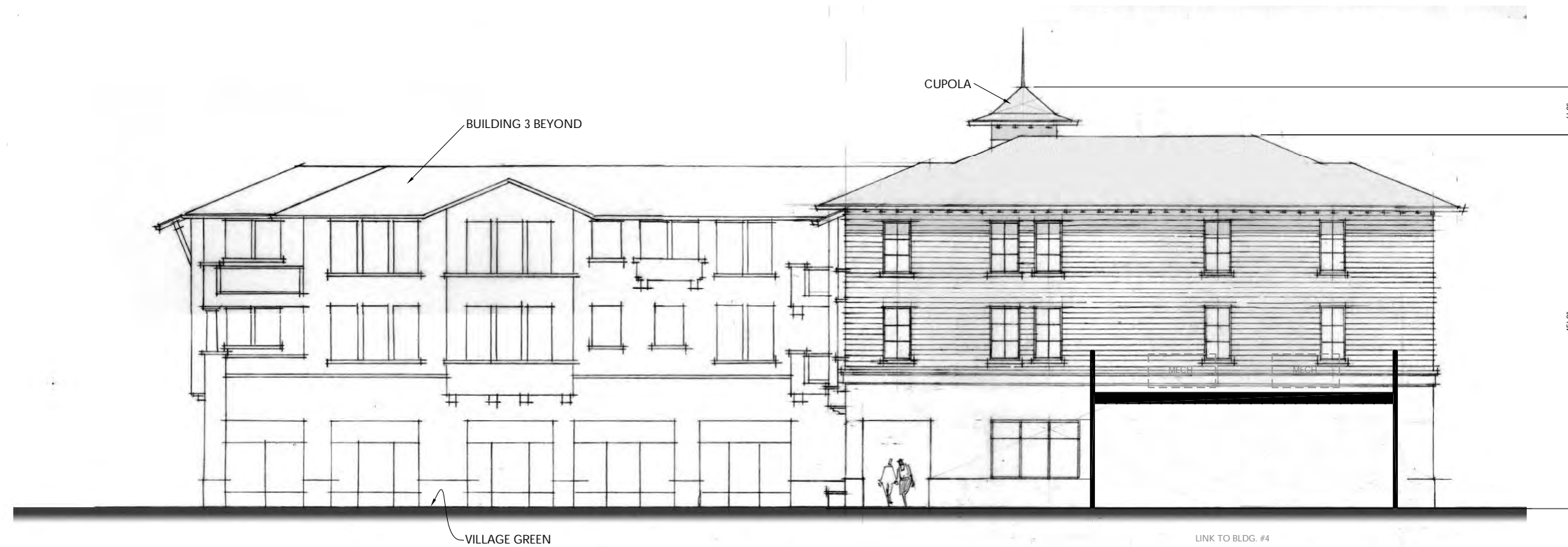
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011





**EAST ELEVATION**





**WEST ELEVATION**

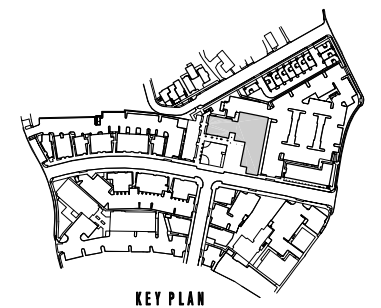
SCALE: 1/8" = 1'-0"  
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APN: 041-011-03, 20, 33

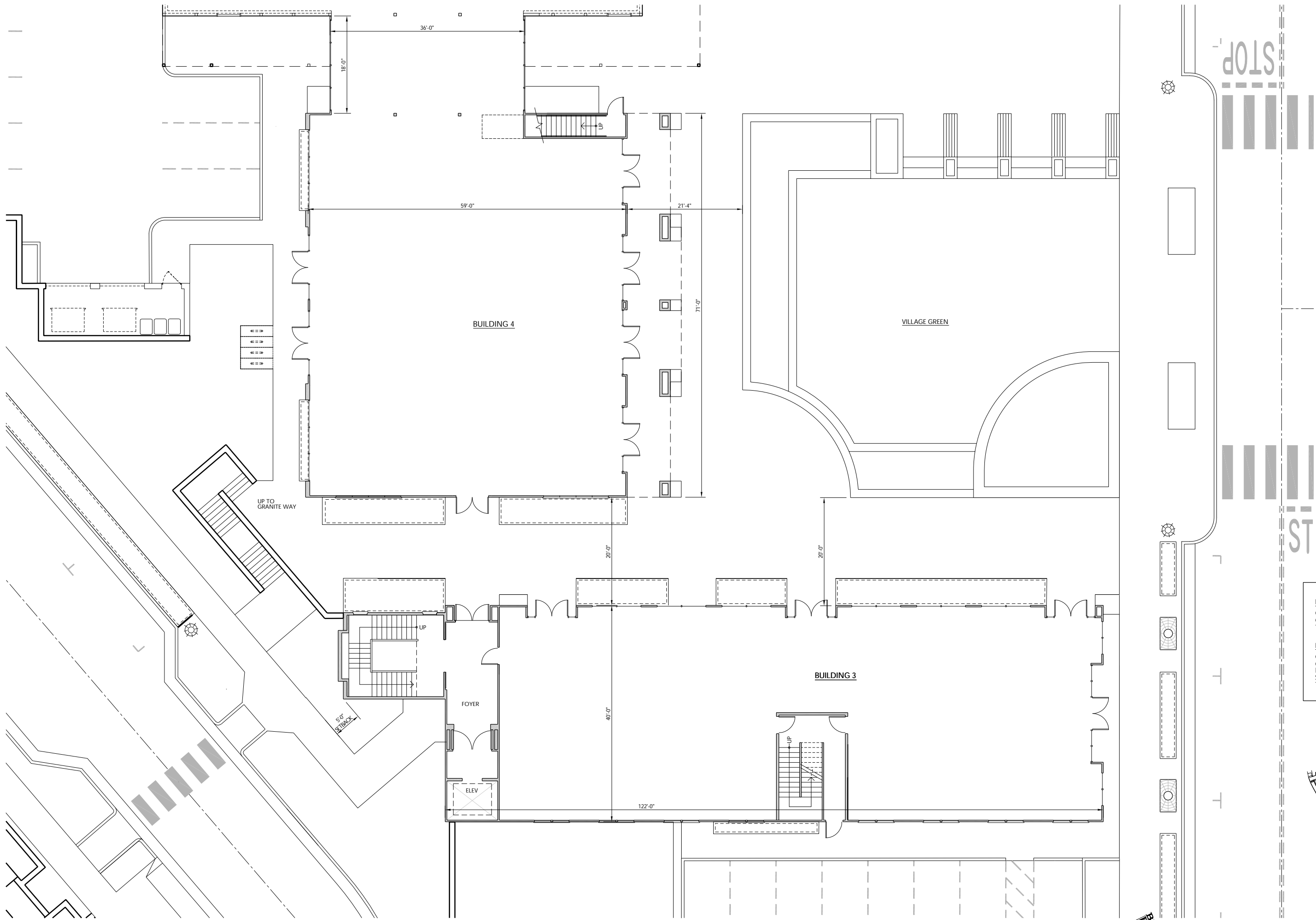
**BUILDING 4 ELEVATIONS**  
**APTOS VILLAGE**

  
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

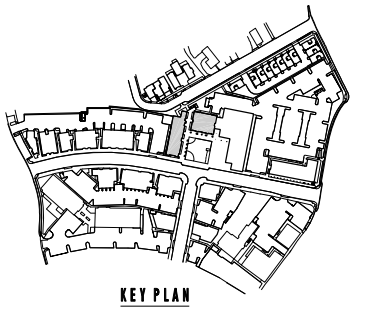
  
THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



**KEY PLAN**



<b>BUILDING 4</b>	
COMMERCIAL (GROSS)	4,789 SF
COMMERCIAL (NET)	4,071 SF
TOTAL BUILDING AREA	4,789 SF
<b>BUILDING 3</b>	
COMMERCIAL (GROSS)	4,130 SF
COMMERCIAL (NET)	3,511 SF
RESIDENTIAL COMMON AREA	254 SF
SHARED COMMON AREA	685 SF
TOTAL BUILDING AREA	5,069 SF



SCALE: 1/8" = 1'-0"  
0' 8' 16' N

# BUILDINGS 3 & 4 FIRST FLOOR PLANS

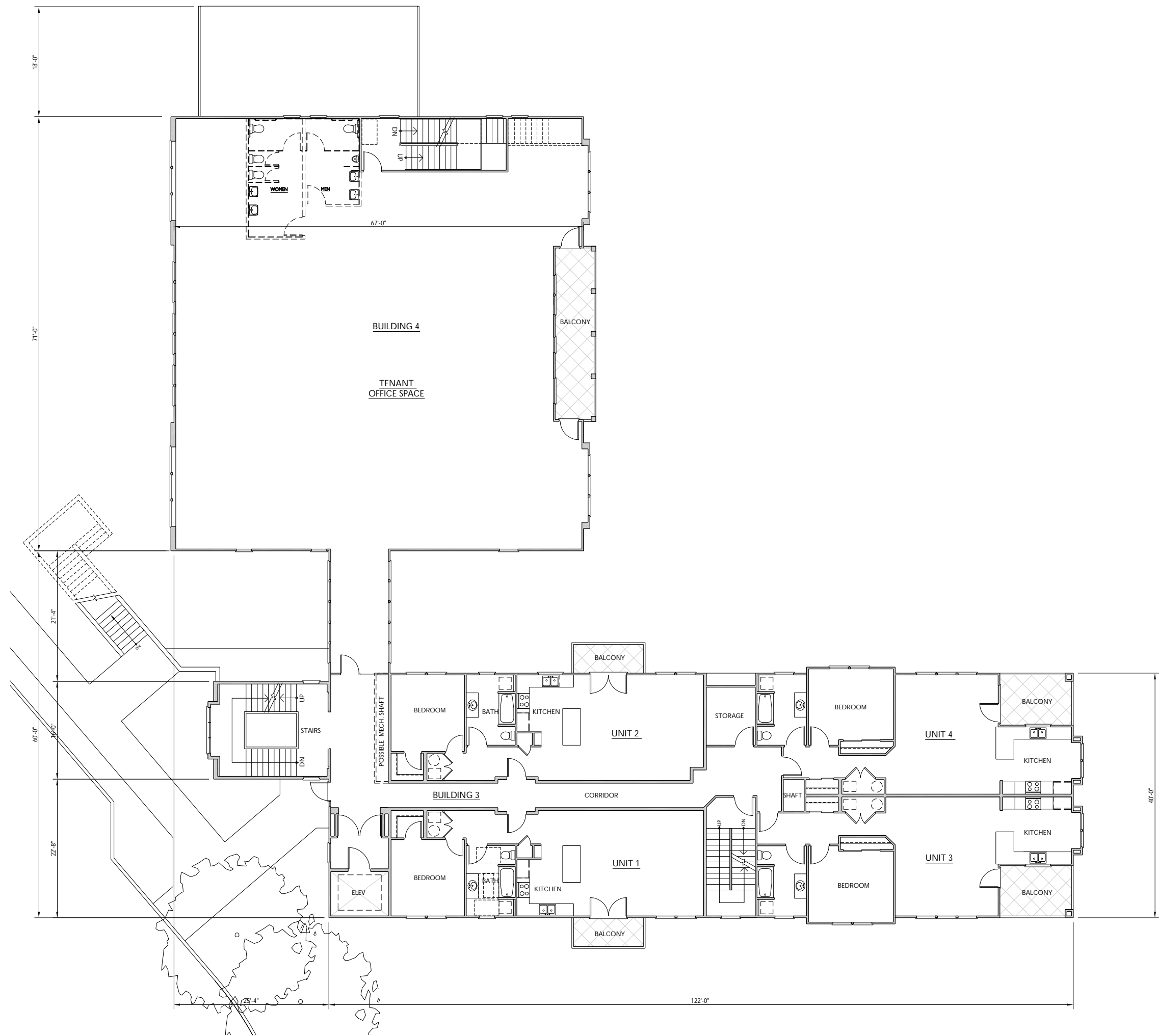
## APTOS VILLAGE

APN: 041-011-03, 20, 33

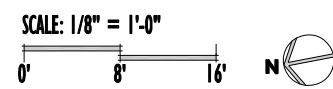
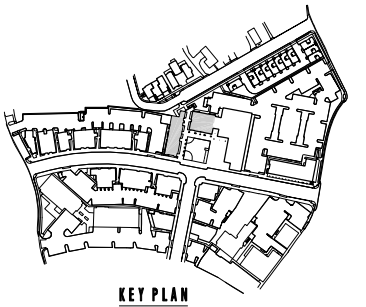
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



<b>BUILDING 4</b>	
COMMERCIAL (GROSS)	4,845 SF
COMMERCIAL (NET)	4,118 SF
<b>BUILDING 3</b>	
RESIDENTIAL DWELLING BUILDING AREA	3,700 SF
RESIDENTIAL COMMON BUILDING AREA	254 SF
SHARED COMMON BUILDING AREA	685 SF
<b>RESIDENTIAL</b>	
UNIT 1	912 SF
UNIT 2	908 SF
UNIT 3	951 SF
UNIT 4	929 SF
<b>BALCONY</b>	
UNIT 1	60 SF
UNIT 2	60 SF
UNIT 3	100 SF
UNIT 4	100 SF

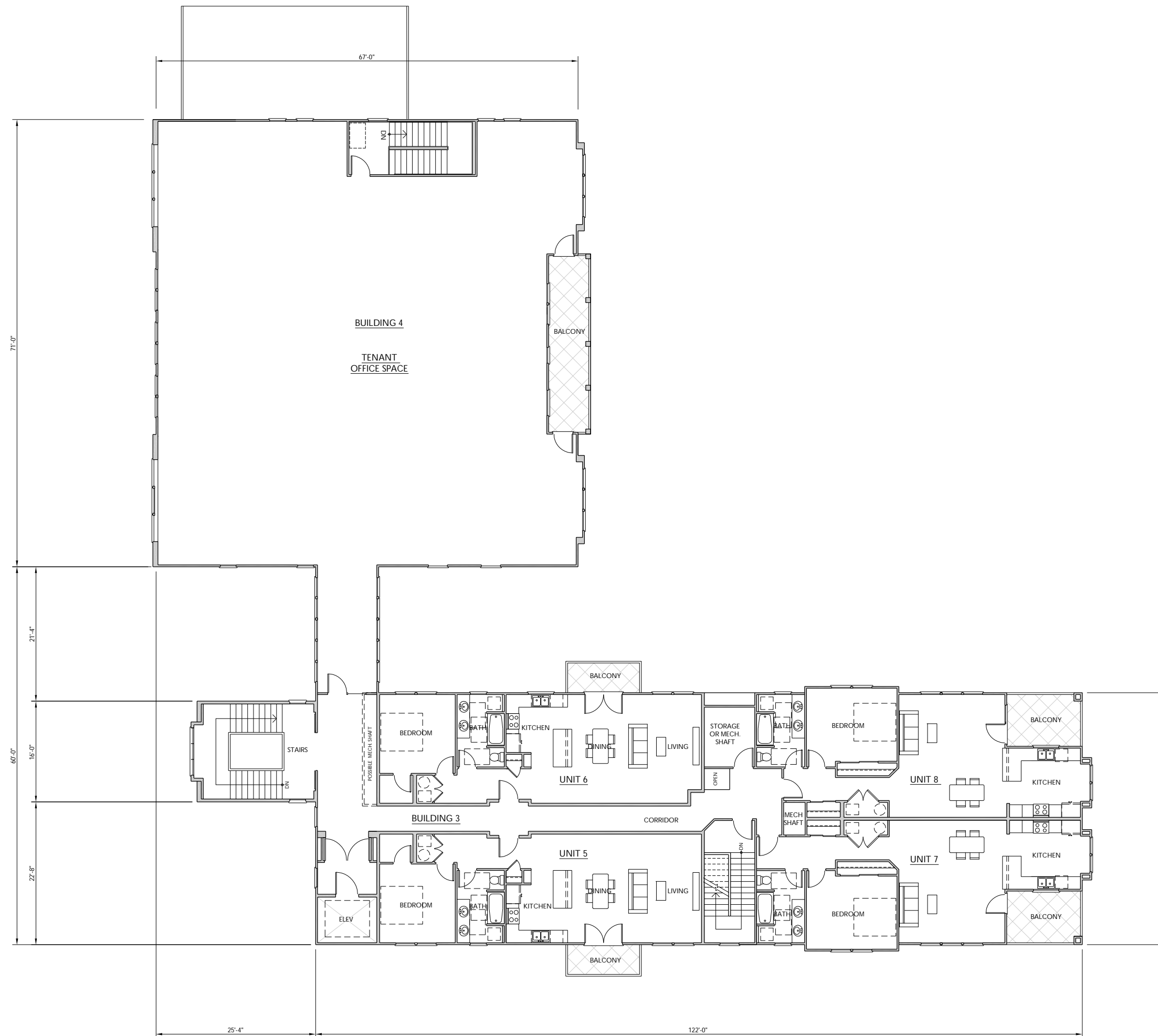


# **BUILDINGS 3 & 4 SECOND FLOOR PLANS** **APTOS VILLAGE**

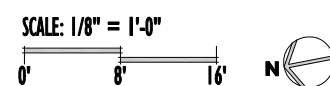
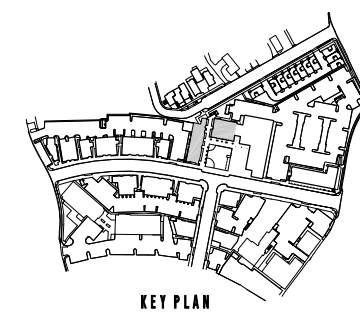
APN: 041-011-03, 20, 33

**BARRY SWENSON BUILDER**  
A DIVISION OF GREEN VALLEY CORP.

**THACHER & THOMPSON ARCHITECTS**  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



<b>BUILDING 4</b>	
COMMERCIAL (GROSS)	4,845 SF
COMMERCIAL (NET)	4,118 SF
<b>BUILDING 3</b>	
RESIDENTIAL DWELLING BUILDING AREA	3,700 SF
RESIDENTIAL COMMON BUILDING AREA	254 SF
SHARED COMMON BUILDING AREA	685 SF
<b>RESIDENTIAL</b>	
UNIT 1	912 SF
UNIT 2	908 SF
UNIT 3	951 SF
UNIT 4	929 SF
<b>BALCONY</b>	
UNIT 1	60 SF
UNIT 2	60 SF
UNIT 3	100 SF
UNIT 4	100 SF



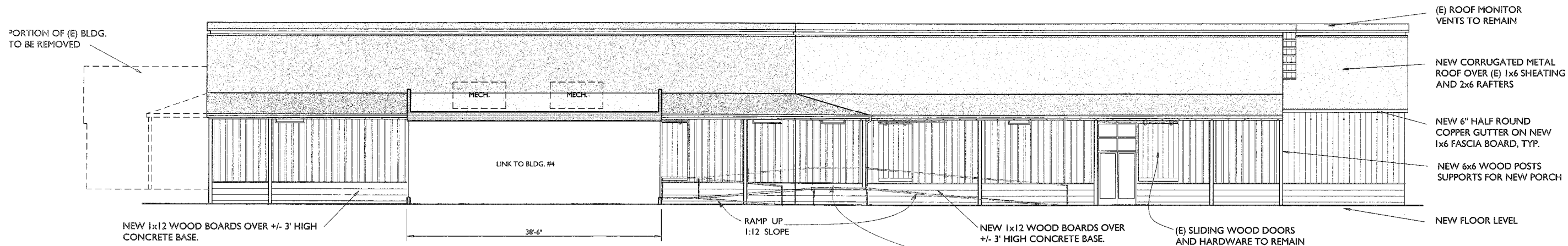
## BUILDINGS 3 & 4 THIRD FLOOR PLANS

### APTOS VILLAGE

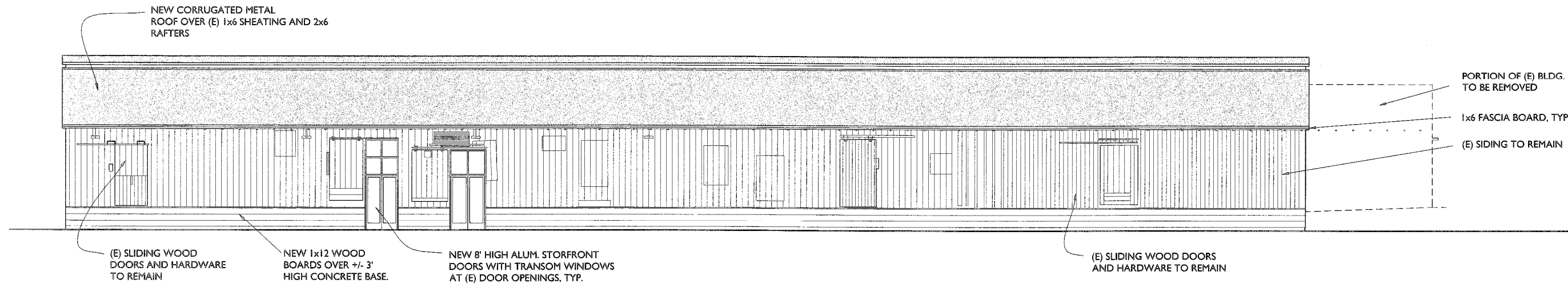
APN: 041-011-03, 20, 33

**BSB**  
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

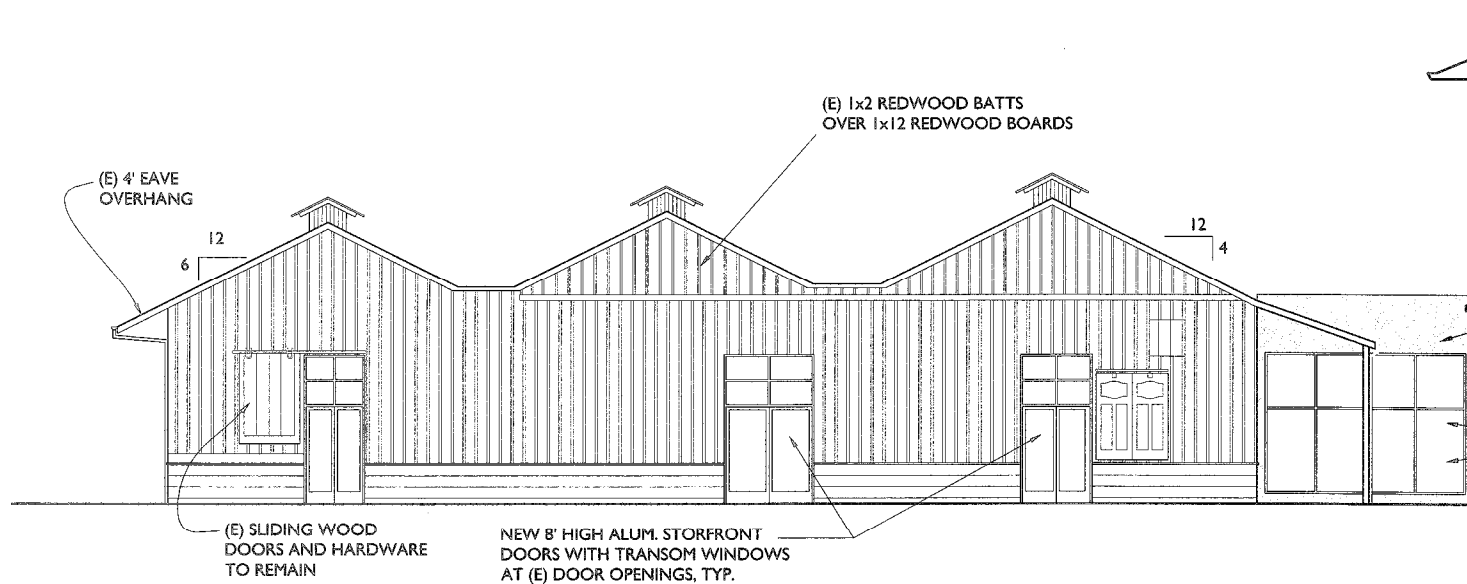
**THACHER & THOMPSON ARCHITECTS**  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



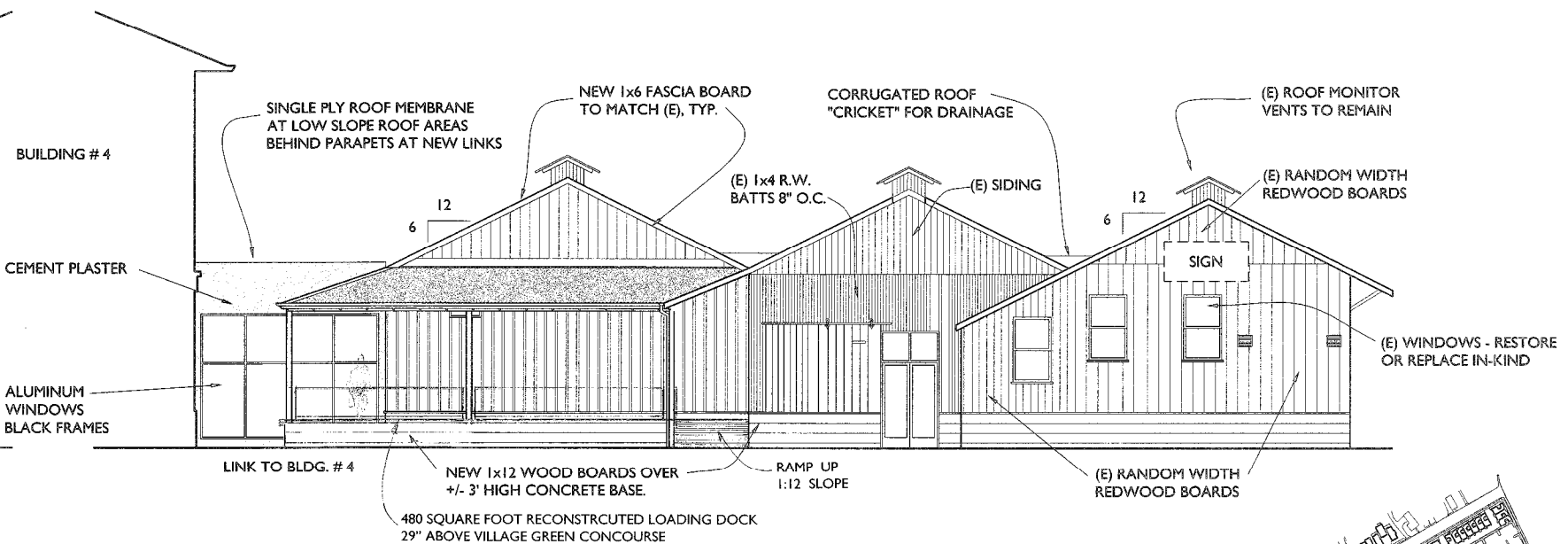
**WEST ELEVATION**  
FORMERLY STREET FRONT ELEVATION



**EAST ELEVATION**  
FORMERLY BACK LOT ELEVATION



**NORTH ELEVATION**  
FORMERLY FRONT ELEVATION



**SOUTH ELEVATION**  
FORMERLY BACK ELEVATION

**NOTES:**

1. EXISTING FRAMING WILL BE RETAINED AND REPAIRED WHERE NEEDED AT ROOF OVERHANGS.
2. EXISTING WOOD FLOORING AT PORCHES WILL BE REPLACED BY CONCRETE PAVING AT GRADE
3. UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC MATERIALS ON THE BUILDING EXTERIOR, INCLUDING WOOD SIDING, EXISTING DOOR AND WINDOW OPENINGS, ROOF OVERHANGS AND ROOF FRAMING SUPPORTS WILL BE RETAINED, REPAIRED IF DAMAGED, AND REPLACED IN KIND ONLY WHERE REPAIR IS NOT FEASIBLE.
4. THE EXISTING HORIZONTAL BOARDS AT THE BUILDING BASE ARE TO BE RE-USED, TO THE EXTENT THAT THEY ARE NOT SEVERLY DETERIORATED, TO THE GREATEST EXTENT POSSIBLE IN LIEU OF NEW 1x12 WOOD BOARDS OVER THE 3' HIGH CONCRETE BASE.

SCALE: 1/8" = 1'-0"  
0' 8' 16'

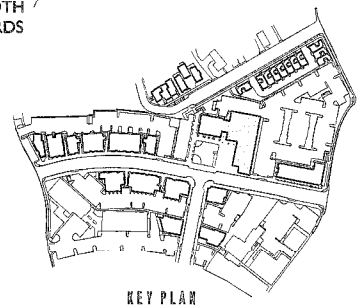
**PROPOSED BUILDING 5 ELEVATIONS**  
**APTOS VILLAGE**

APN: 041-011-03, 20, 33

BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

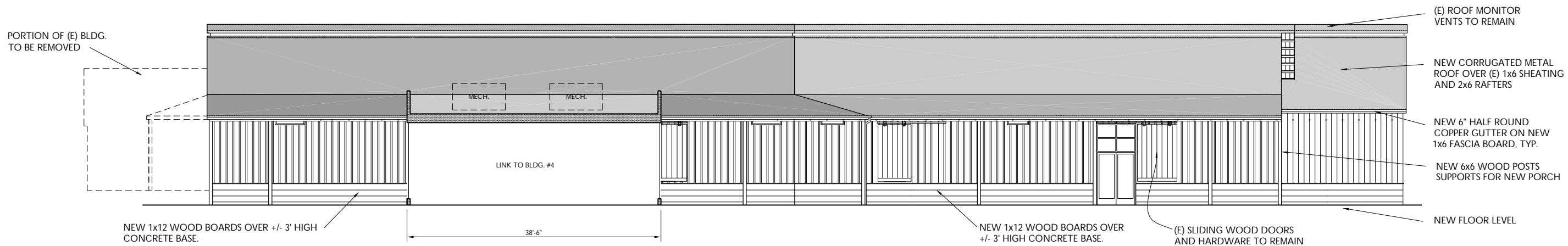
THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MAY 5, 2011  
JULY 13, 2011



KEY PLAN

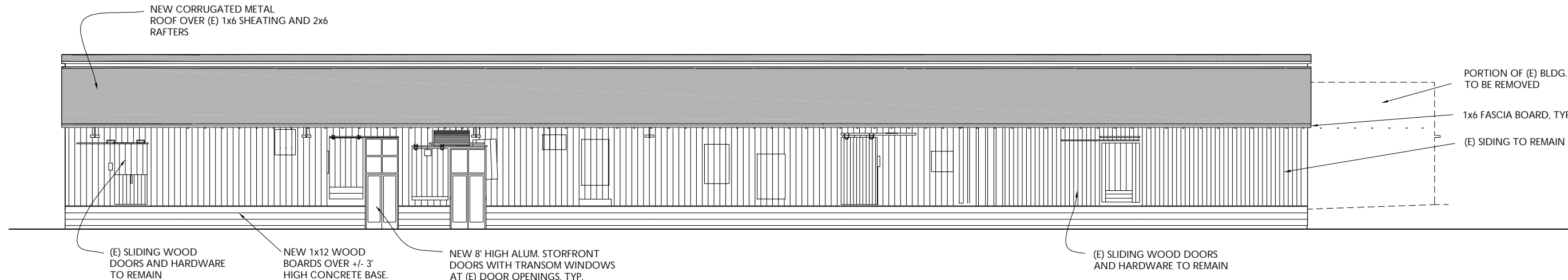




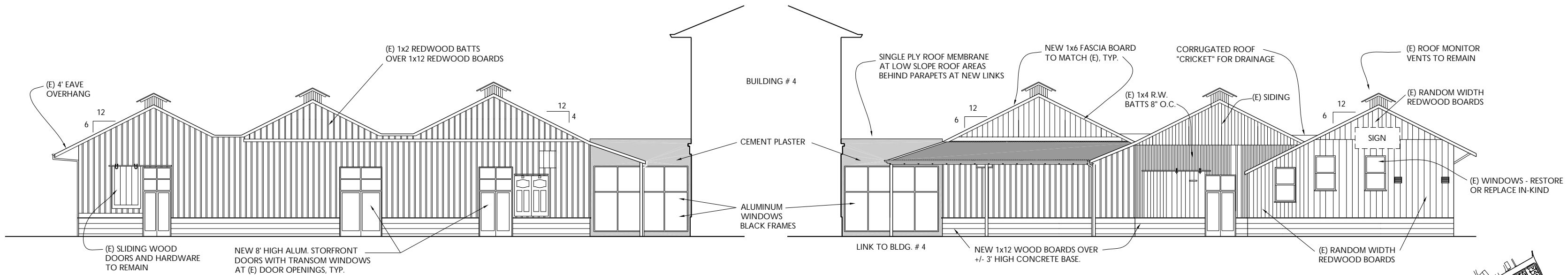
**WEST ELEVATION**  
FORMERLY STREET FRONT ELEVATION

**NOTES:**

1. EXISTING FRAMING WILL BE RETAINED AND REPAIRED WHERE NEEDED AT ROOF OVERHANGS.
2. EXISTING WOOD FLOORING AT PORCHES WILL BE REPLACED BY CONCRETE PAVING AT GRADE
3. UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC MATERIALS ON THE BUILDING EXTERIOR, INCLUDING WOOD SIDING, EXISTING DOOR AND WINDOW OPENINGS, ROOF OVERHANGS AND ROOF FRAMING SUPPORTS WILL BE RETAINED, REPAIRED IF DAMAGED, AND REPLACED IN KIND ONLY WHERE REPAIR IS NOT FEASIBLE.
4. THE EXISTING HORIZONTAL BOARDS AT THE BUILDING BASE ARE TO BE RE-USED, TO THE EXTENT THAT THEY ARE NOT SEVERLY DETERIORATED, TO THE GREATEST EXTENT POSSIBLE IN LIEU OF NEW 1x12 WOOD BOARDS OVER THE 3' HIGH CONCRETE BASE.

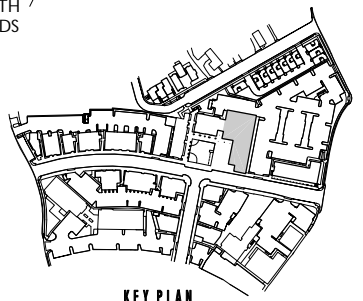


**EAST ELEVATION**  
FORMERLY BACK LOT ELEVATION

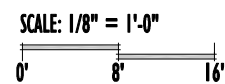


**NORTH ELEVATION**  
FORMERLY FRONT ELEVATION

**SOUTH ELEVATION**  
FORMERLY BACK ELEVATION



**KEY PLAN**



APN: 041-011-03, 20, 33

**PROPOSED BUILDING 5 ELEVATIONS**  
**APTOS VILLAGE**

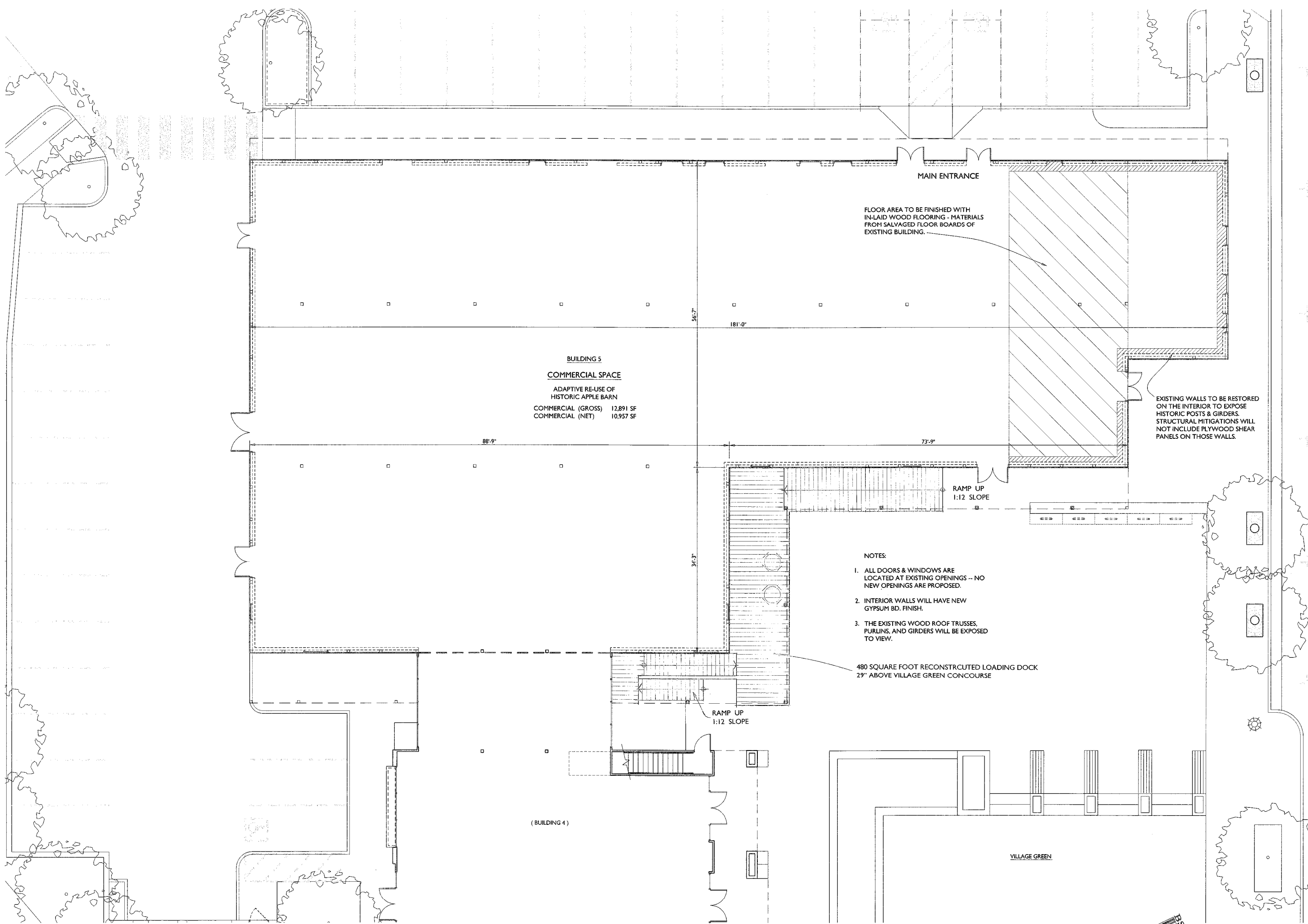


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MAY 5, 2011



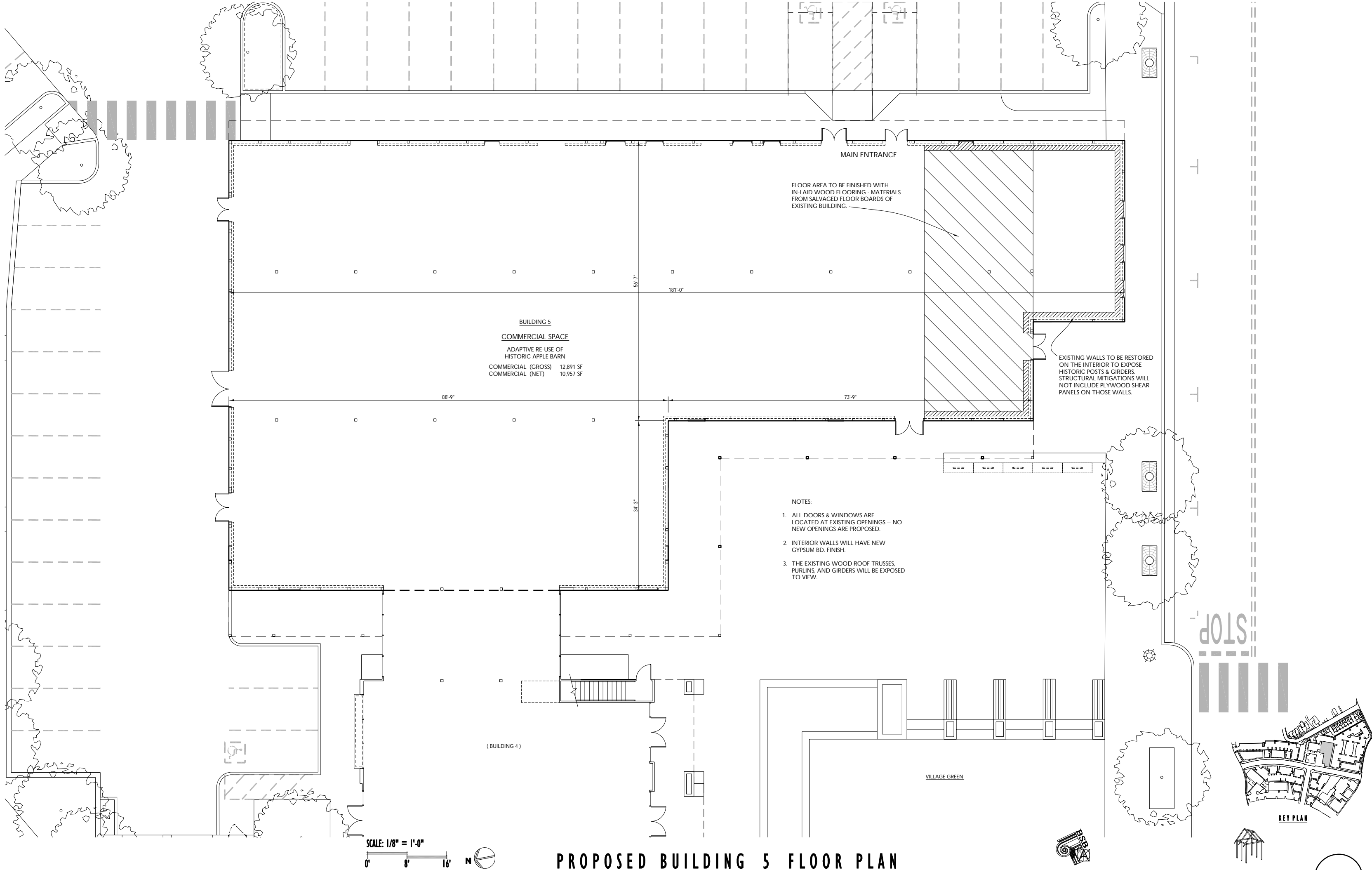
# PROPOSED BUILDING 5 FLOOR PLAN

APTOS VILLAGE

BARRY SWENSON BUILDER  
 A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
 JANUARY 15, 2011  
 MAY 5, 2011  
 JULY 13, 2011



PROPOSED BUILDING 5 FLOOR PLAN

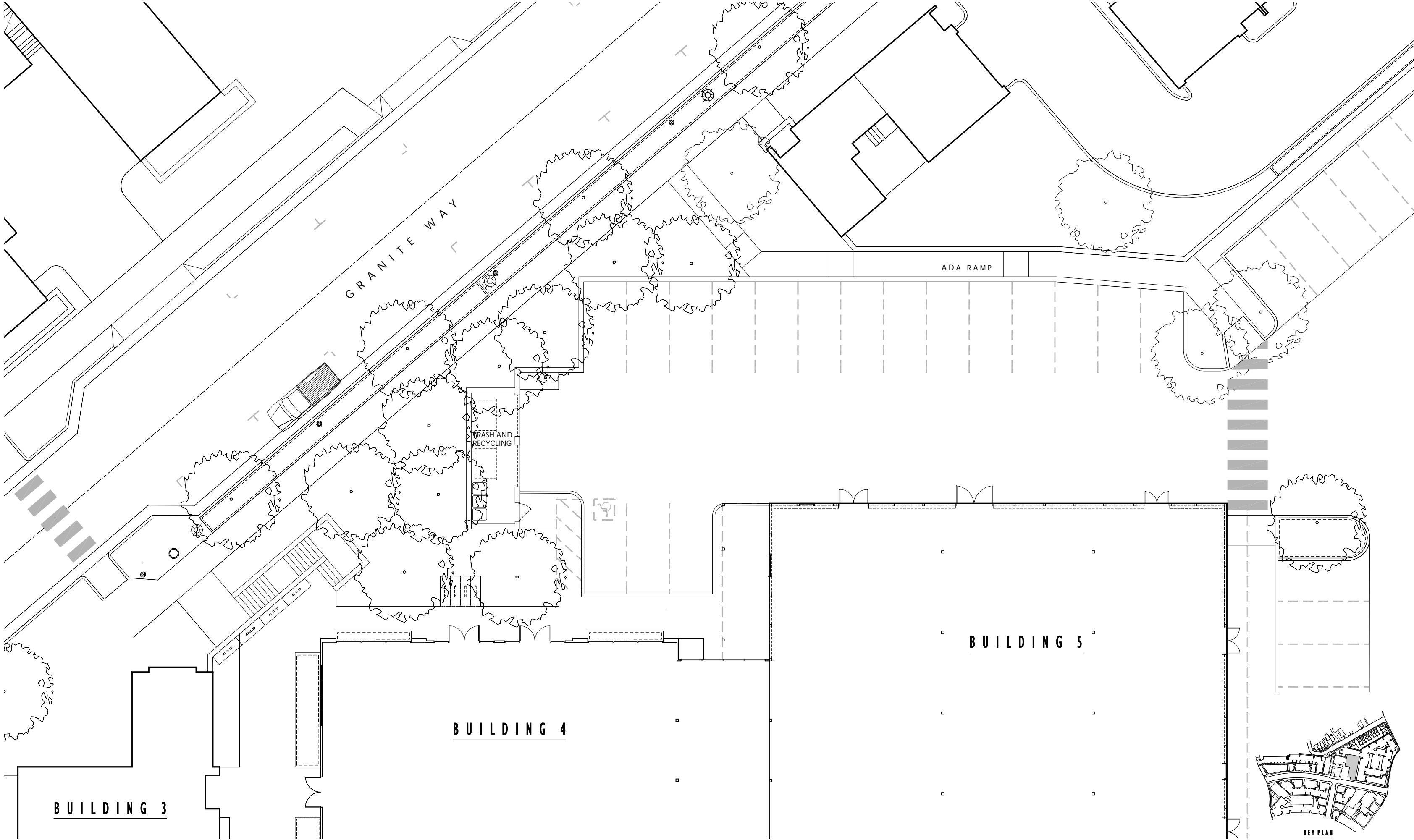
APTOS VILLAGE

APN: 041-011-03, 20, 33

BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



SCALE: 1/8" = 1'-0"  
0' 8' 16'



SITE BEHIND BUILDINGS 3,4,5  
APTOS VILLAGE

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



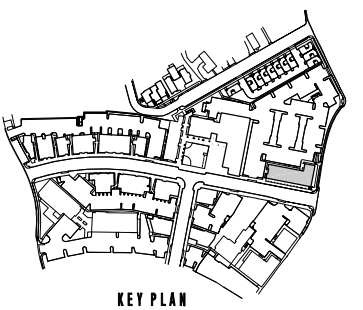
THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011



**SOUTH ELEVATION**



**WEST ELEVATION**



SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

**BUILDING 6 ELEVATIONS**  
**APTOS VILLAGE**



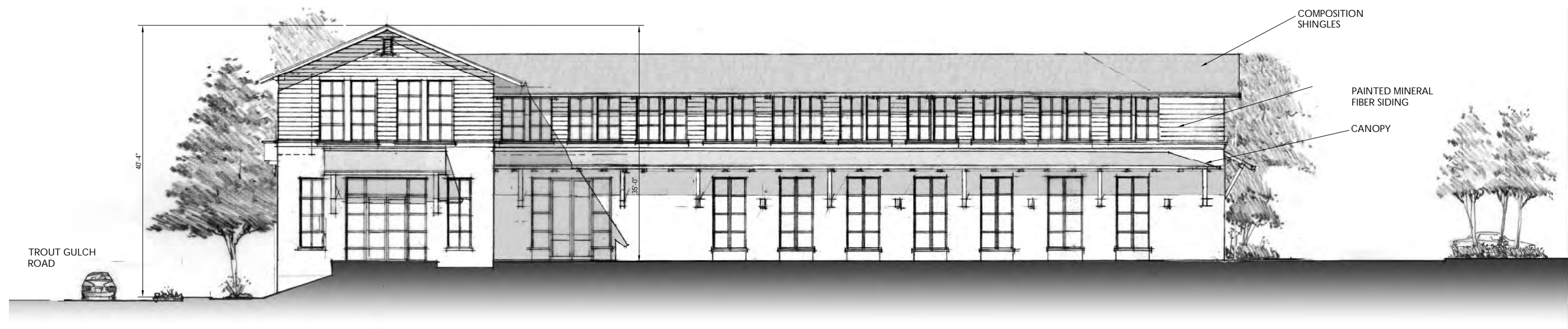
BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

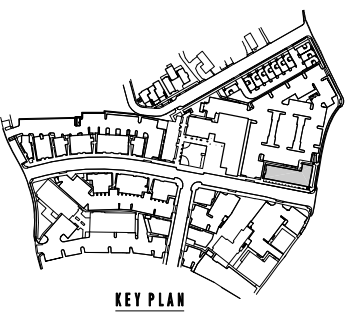




NORTH ELEVATION



EAST ELEVATION



KEY PLAN

SCALE: 1/8" = 1'-0"  
0' 8' 16'

**BUILDING 6 ELEVATIONS**  
**APTOS VILLAGE**

APN: 041-011-03, 20, 33

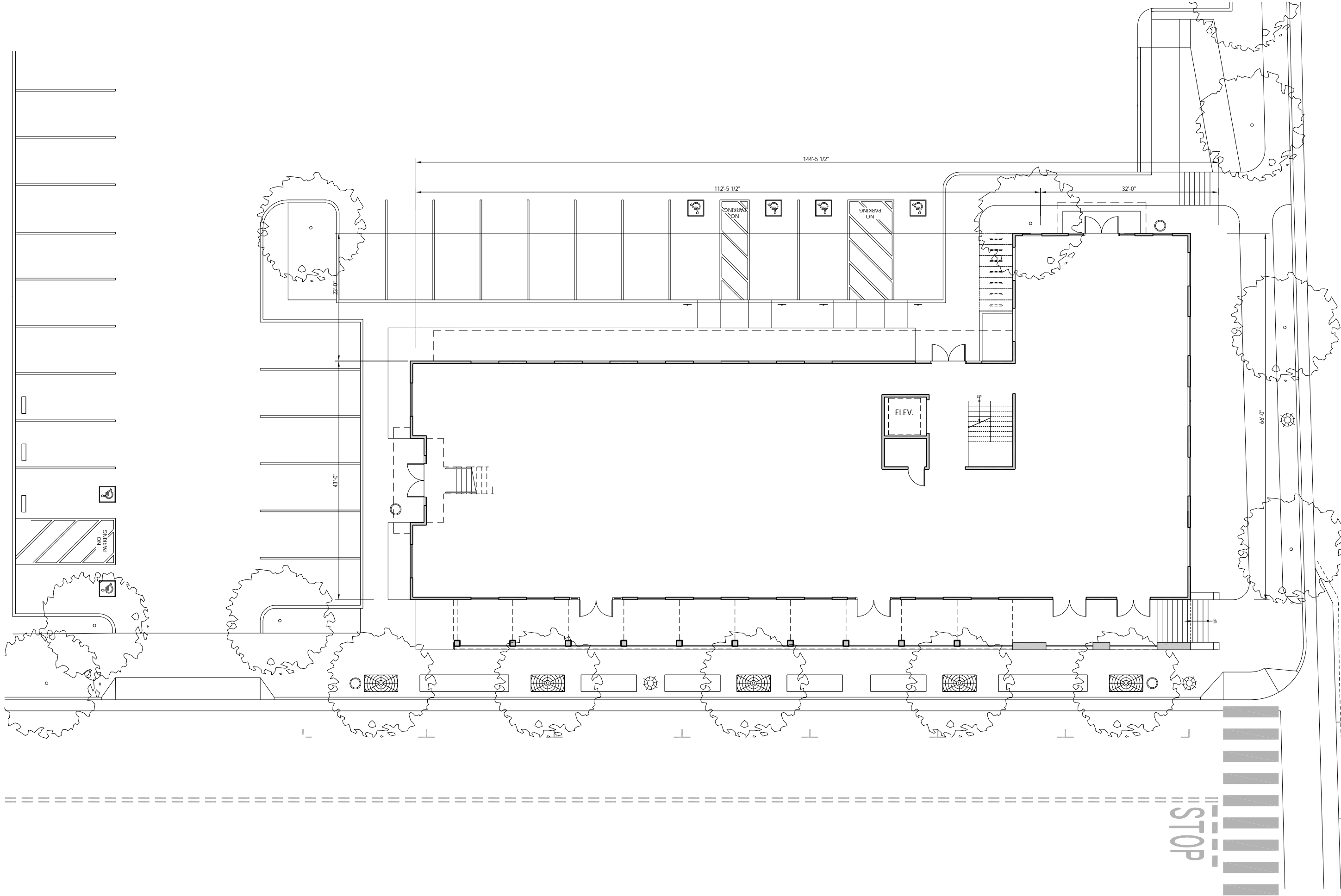


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

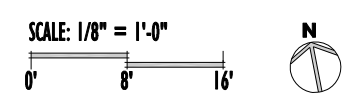
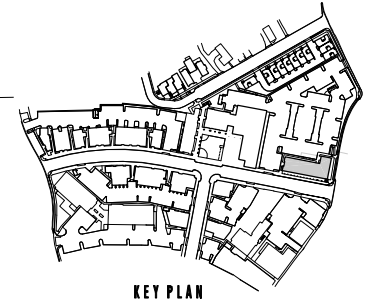


THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



BUILDING 6 - FIRST FLOOR	
COMMERCIAL (GROSS)	6,739 SF
COMMERCIAL (NET)	5,728 SF
TOTAL BUILDING AREA	6,739 SF



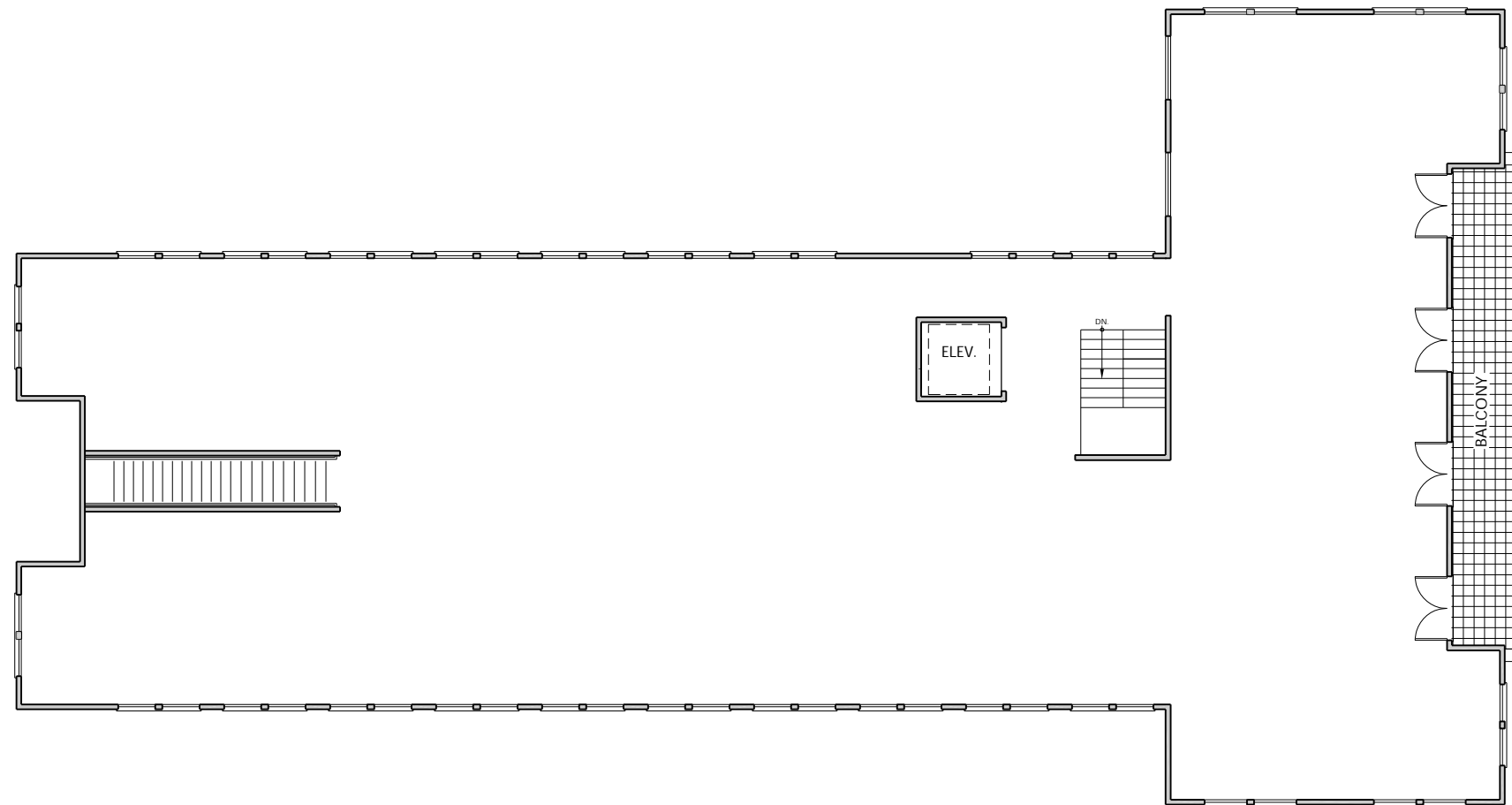
# **BUILDING 6 FIRST FLOOR PLAN** **APTOS VILLAGE**

APN: 041-011-03, 20, 33

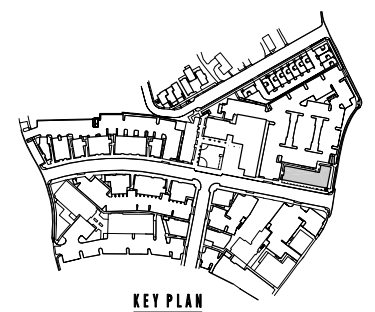
**BARRY SWENSON BUILDER**  
A DIVISION OF GREEN VALLEY CORP.

**THACHER & THOMPSON ARCHITECTS**

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



BUILDING 6 - SECOND FLOOR	
COMMERCIAL (GROSS)	6,261 SF
COMMERCIAL (NET)	5,322 SF



SCALE: 1/8" = 1'-0"



APN: 041-011-03, 20, 33

# BUILDING 6 SECOND FLOOR PLAN APTOS VILLAGE

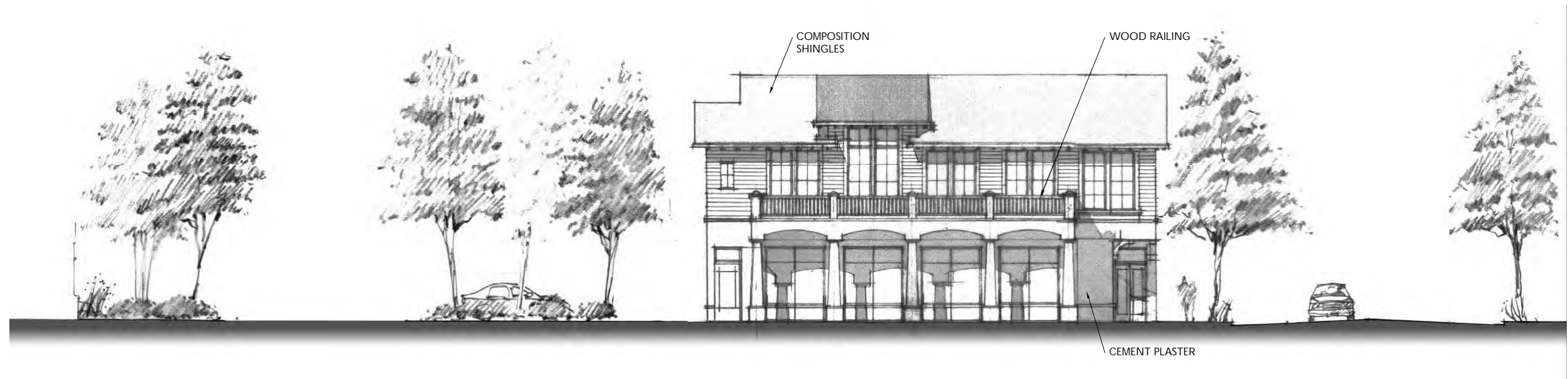


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

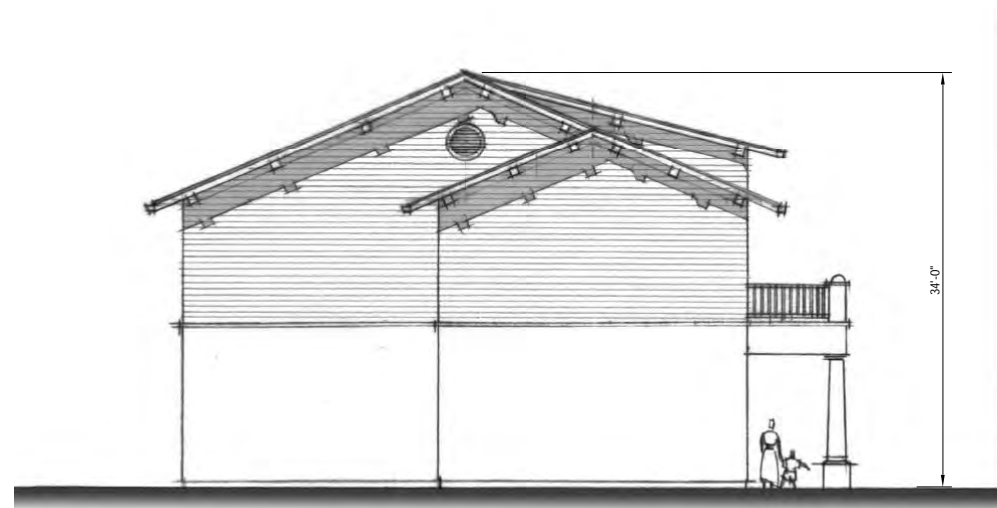


THACHER & THOMPSON ARCHITECTS

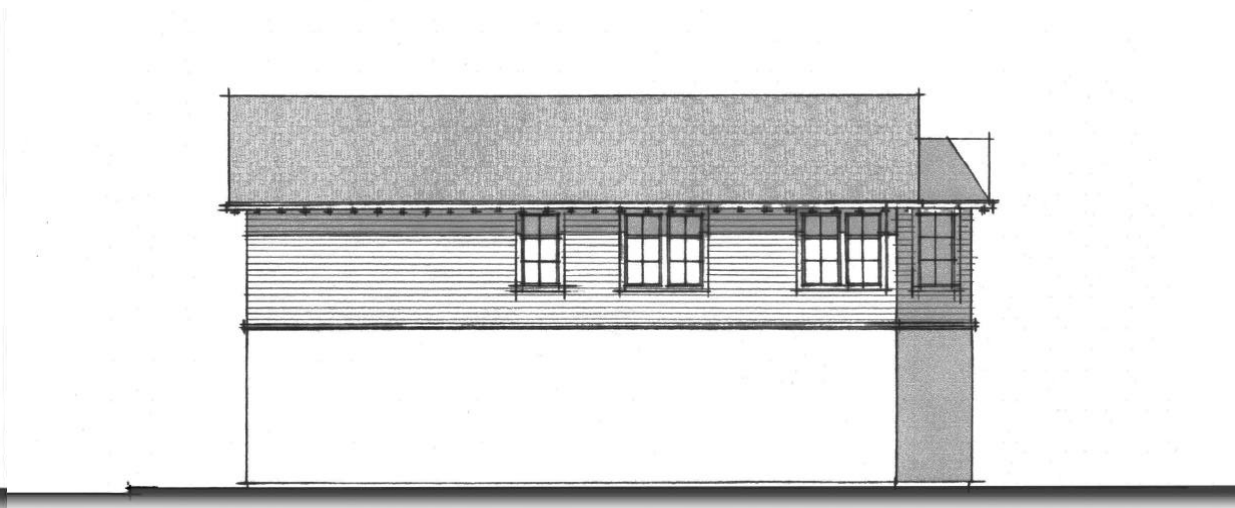
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



NORTH ELEVATION



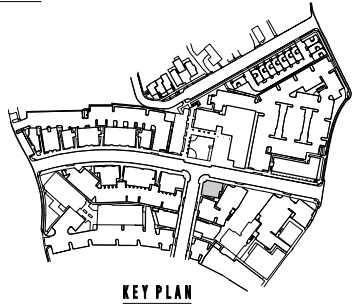
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



KEY PLAN

SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

# **BUILDING 7 ELEVATIONS** **APTOS VILLAGE**

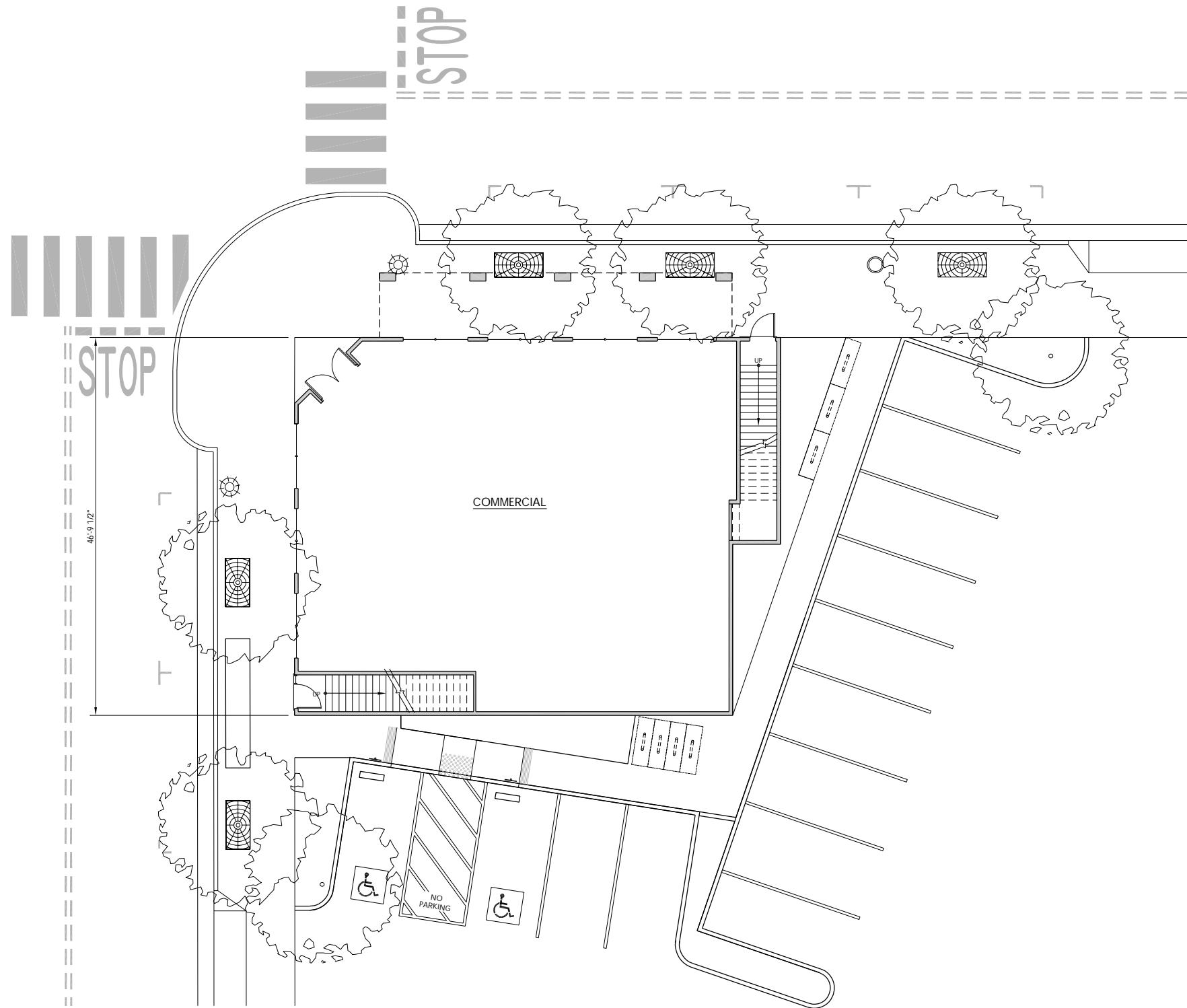


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

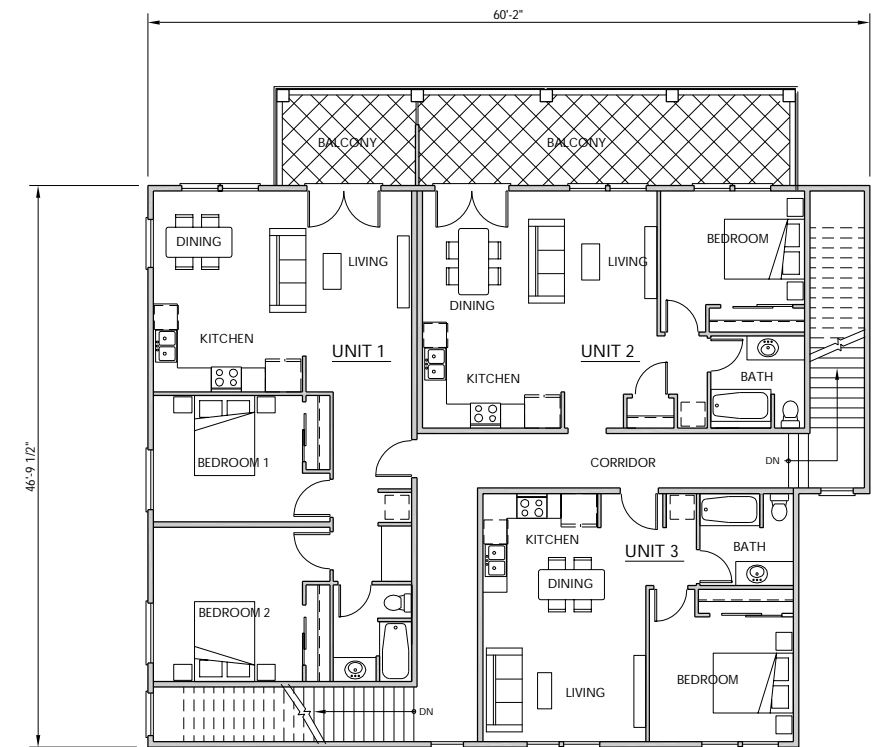


THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
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MAY 5, 2011

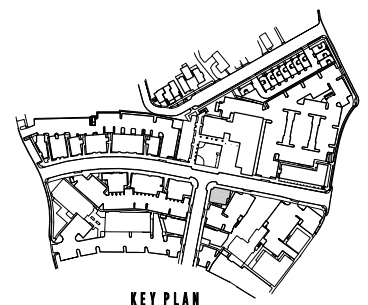


FIRST FLOOR PLAN



SECOND FLOOR PLAN

BUILDING 7 - FIRST FLOOR	
COMMERCIAL (GROSS)	2,391 SF
COMMERCIAL (NET)	2,032 SF
RESIDENTIAL COMMON AREA	254 SF
TOTAL BUILDING AREA	3,645 SF
SECOND FLOOR	
COMMON AREA	531 SF
RESIDENTIAL	
UNIT 1	927 SF
UNIT 2	664 SF
UNIT 3	567 SF
BALCONY	
UNIT 1	100 SF
UNIT 2	262 SF



KEY PLAN

SCALE: 1/8" = 1'-0"



## BUILDING 7 FLOOR PLANS

### APTOS VILLAGE

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THATCHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
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MAY 5, 2011



SCALE: 1/8" = 1'-0"

0' 8' 16'

**BUILDING 8 ELEVATIONS**

**APTOS VILLAGE**

APN: 041-011-03, 20, 33

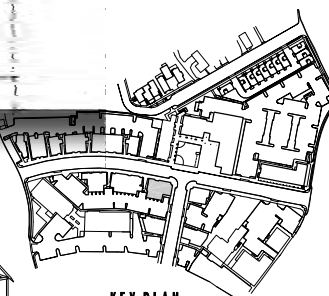


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

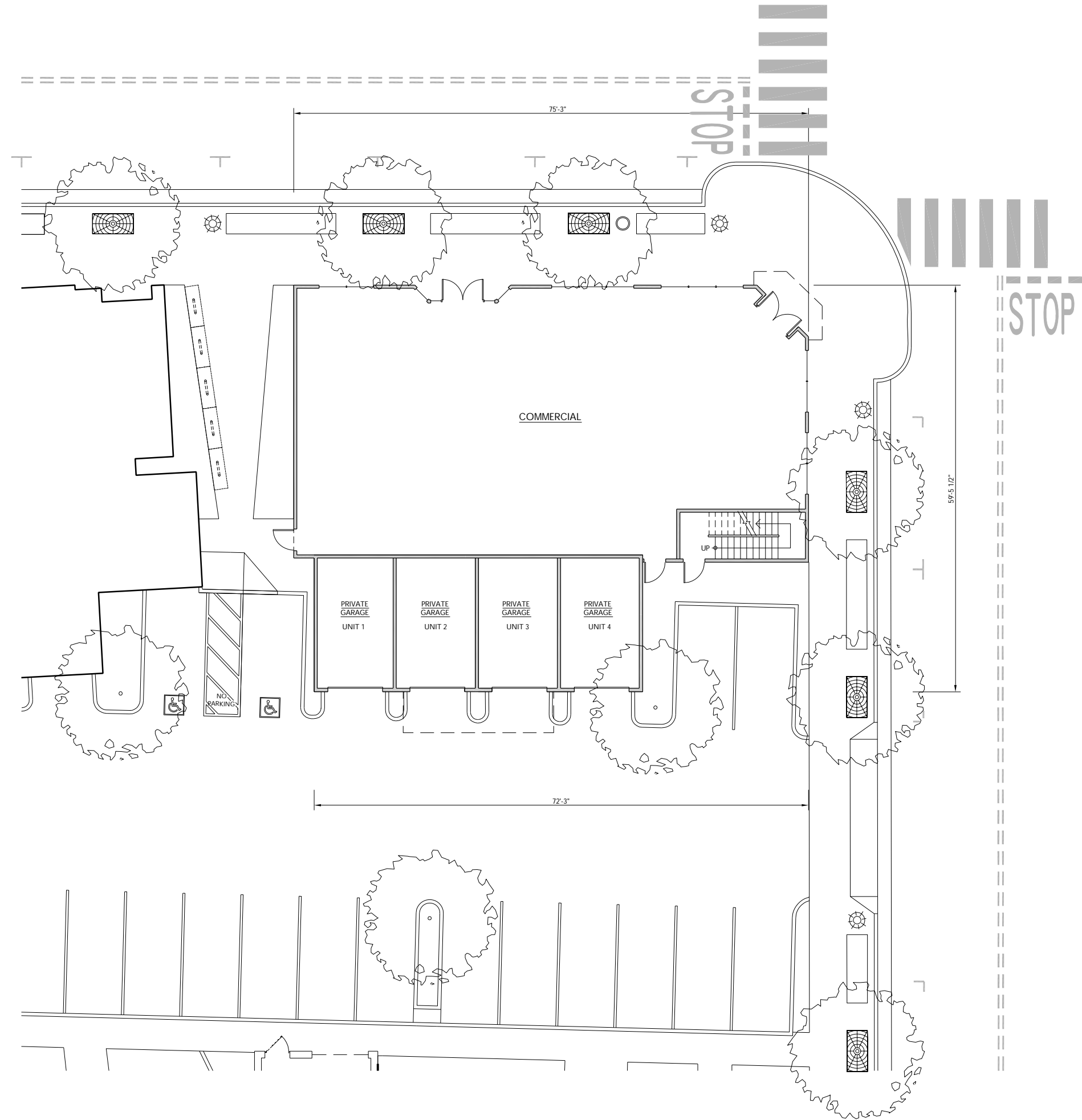


THACHER & THOMPSON ARCHITECTS

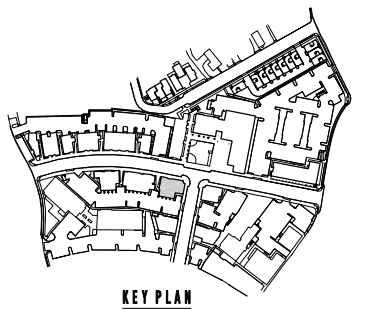
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011







<b>BUILDING 8 - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	2,794 SF
COMMERCIAL (NET)	2,375 SF
RESIDENTIAL COMMON AREA	143 SF
<b>RESIDENTIAL GARAGES</b>	
UNIT 1	238 SF
UNIT 2	238 SF
UNIT 3	238 SF
UNIT 4	238 SF
<b>TOTAL BUILDING AREA</b>	<b>3,889 SF</b>



SCALE: 1/8" = 1'-0"



# **BUILDING 8 FIRST FLOOR PLAN** **APTOS VILLAGE**

APN: 041-011-03, 20, 33

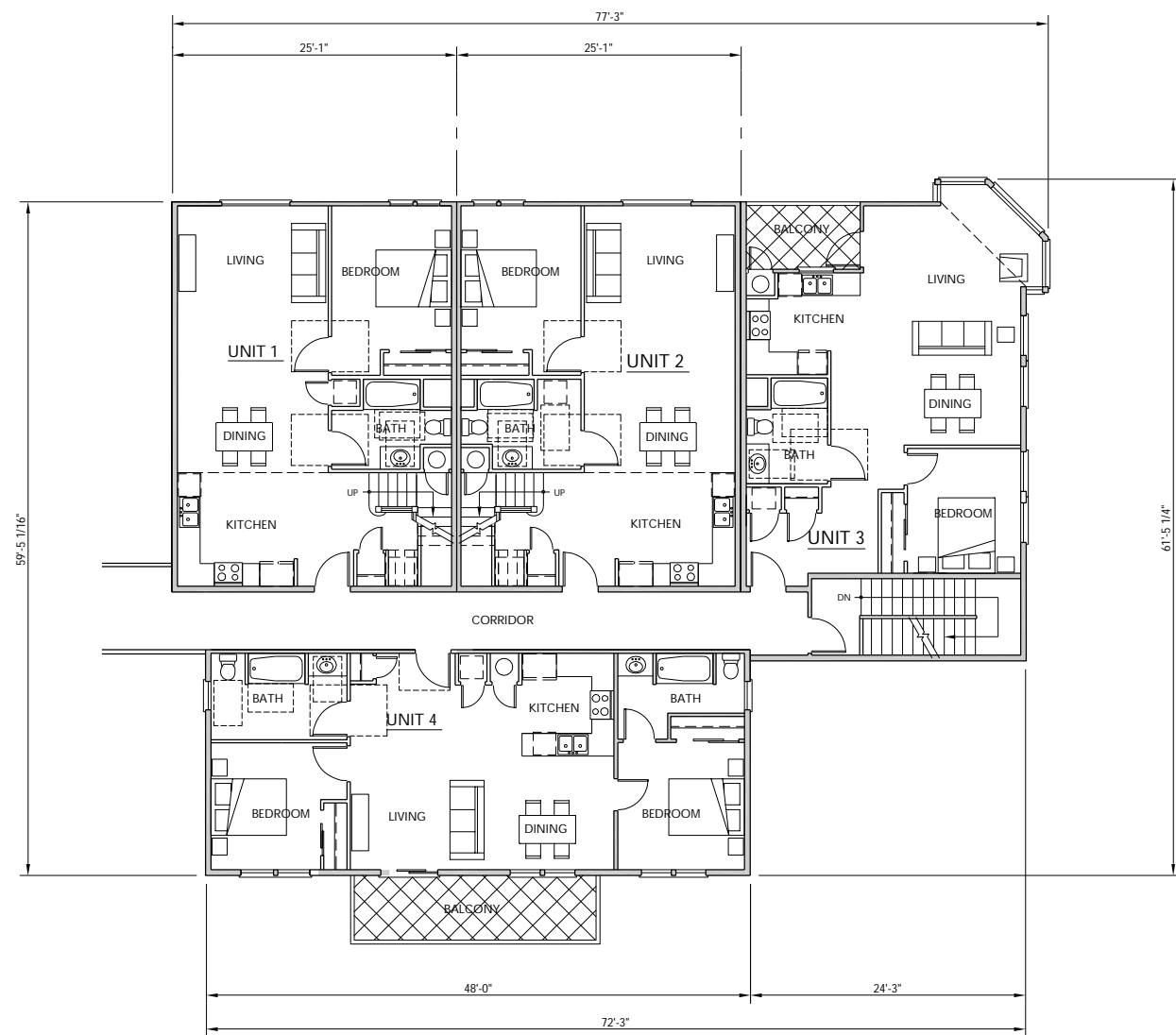


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

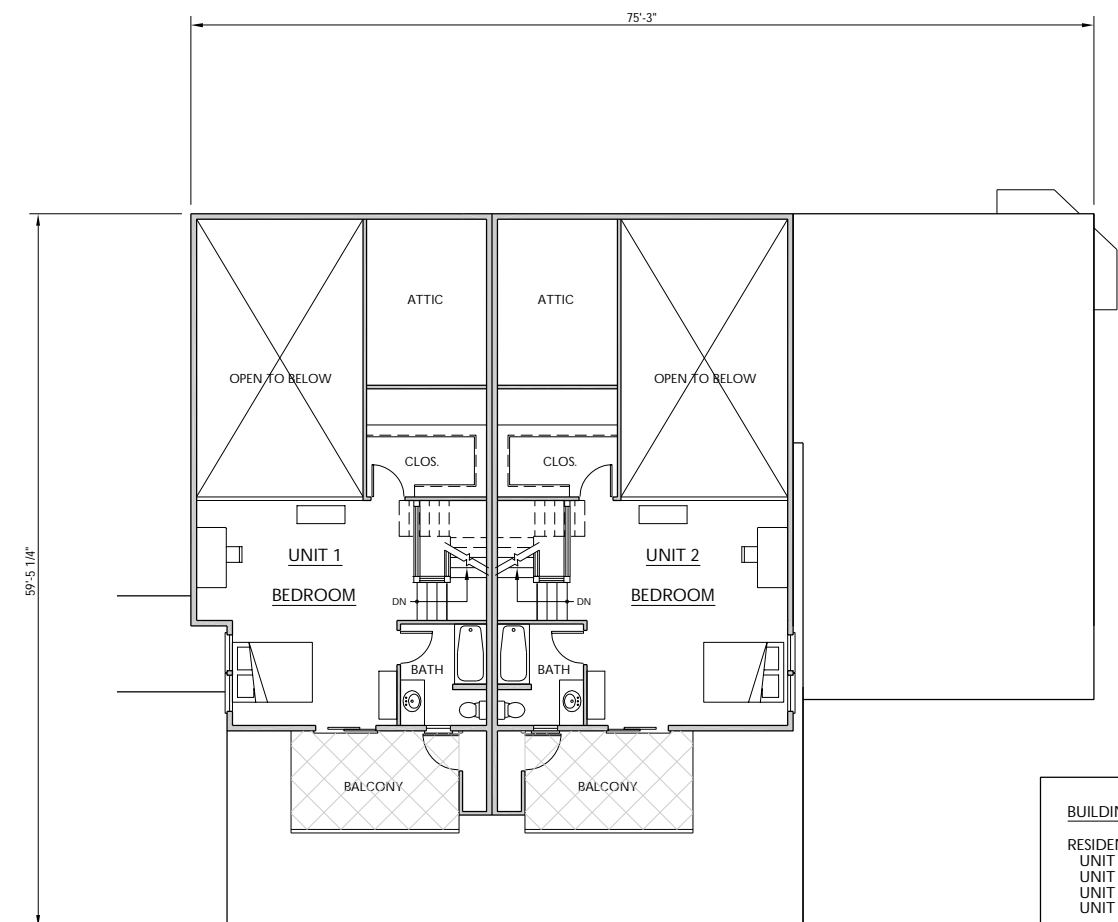


THACHER & THOMPSON ARCHITECTS

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MAY 5, 2011

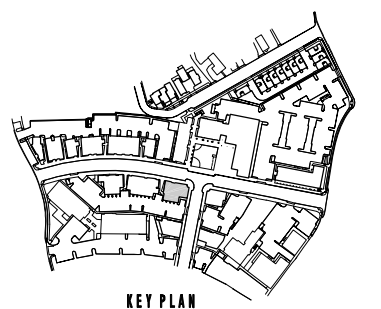


**SECOND FLOOR PLAN**



**THIRD FLOOR PLAN**

BUILDING 8 - SECOND FLOOR	
RESIDENTIAL	
UNIT 1	859 SF
UNIT 2	858 SF
UNIT 3	797 SF
UNIT 4	949 SF
BALCONY	
UNIT 3	59 SF
UNIT 4	133 SF
RESIDENTIAL COMMON AREA	438 SF
THIRD FLOOR	
RESIDENTIAL	
UNIT 1	547 SF
UNIT 2	573 SF
BALCONY	
UNIT 1	119 SF
UNIT 2	119 SF



**KEY PLAN**

SCALE: 1/8" = 1'-0"



## BUILDING 8 SECOND & THIRD FLOOR PLANS

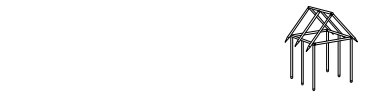
### APTOS VILLAGE

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER

A DIVISION OF GREEN VALLEY CORP.

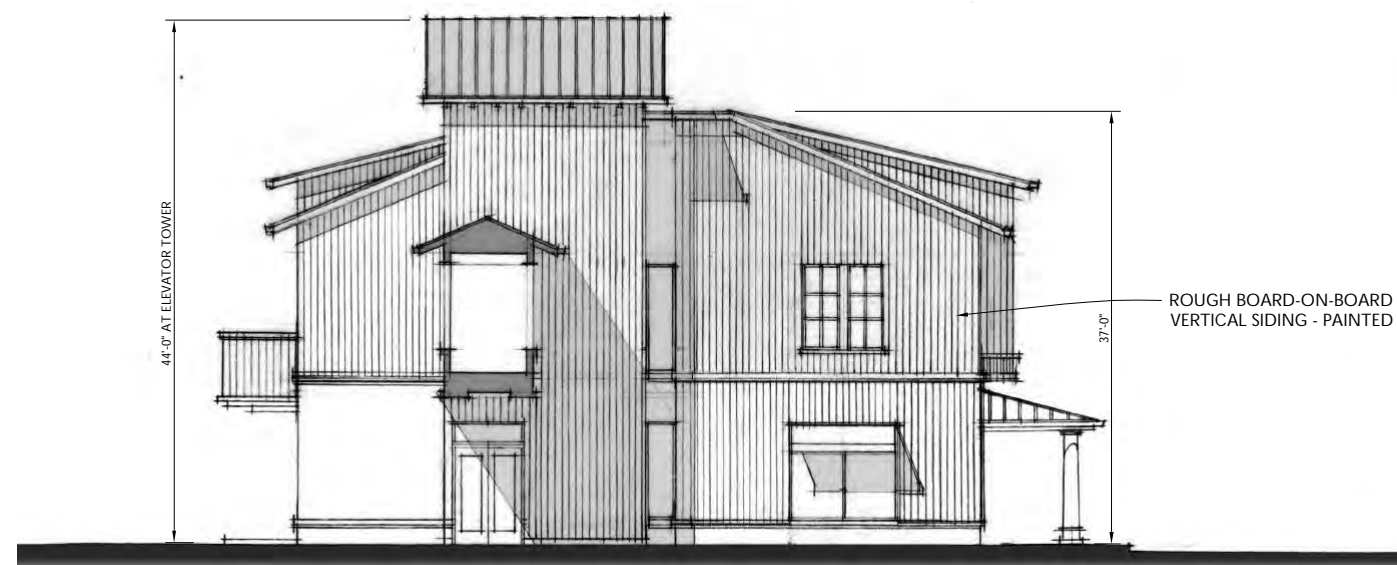


THACHER & THOMPSON ARCHITECTS

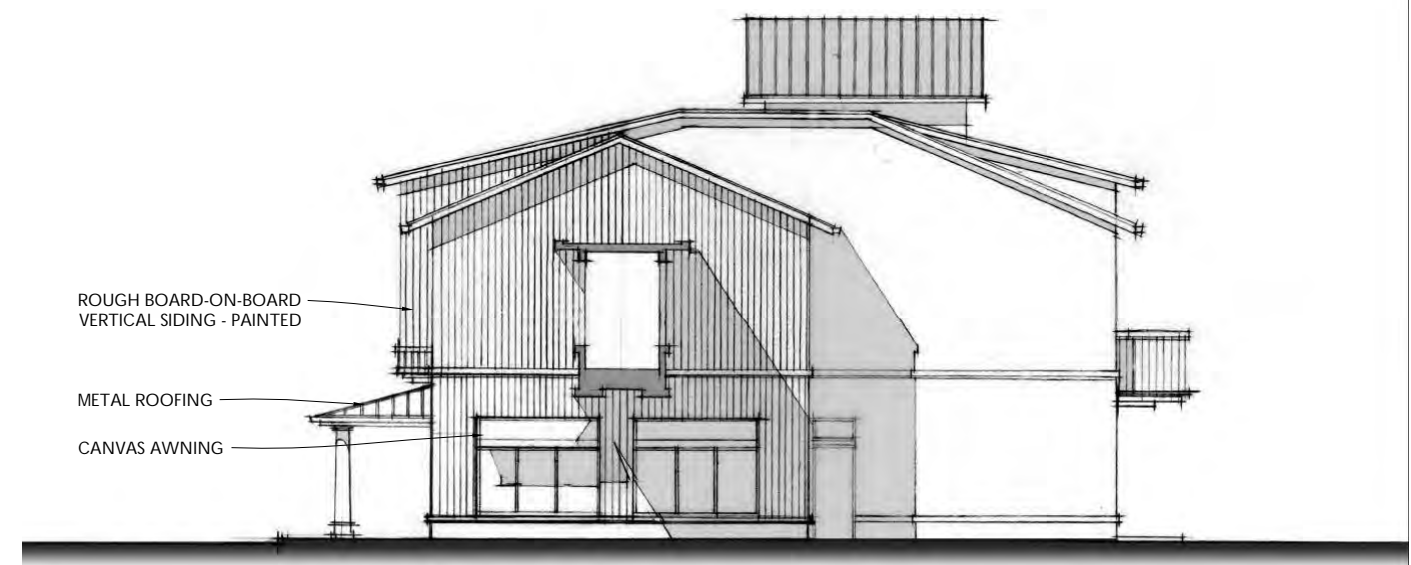
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



**NORTH ELEVATION**



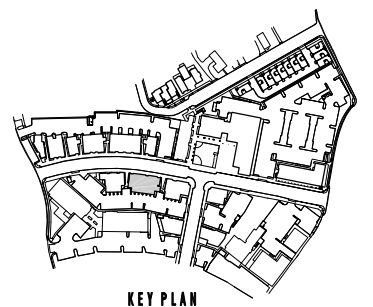
**EAST ELEVATION**



**WEST ELEVATION**



**SOUTH ELEVATION**



**KEY PLAN**

SCALE: 1/8" = 1'-0"  
0' 8' 16'

**BUILDING 9 ELEVATIONS**  
**APTOS VILLAGE**

APN: 041-011-03, 20, 33

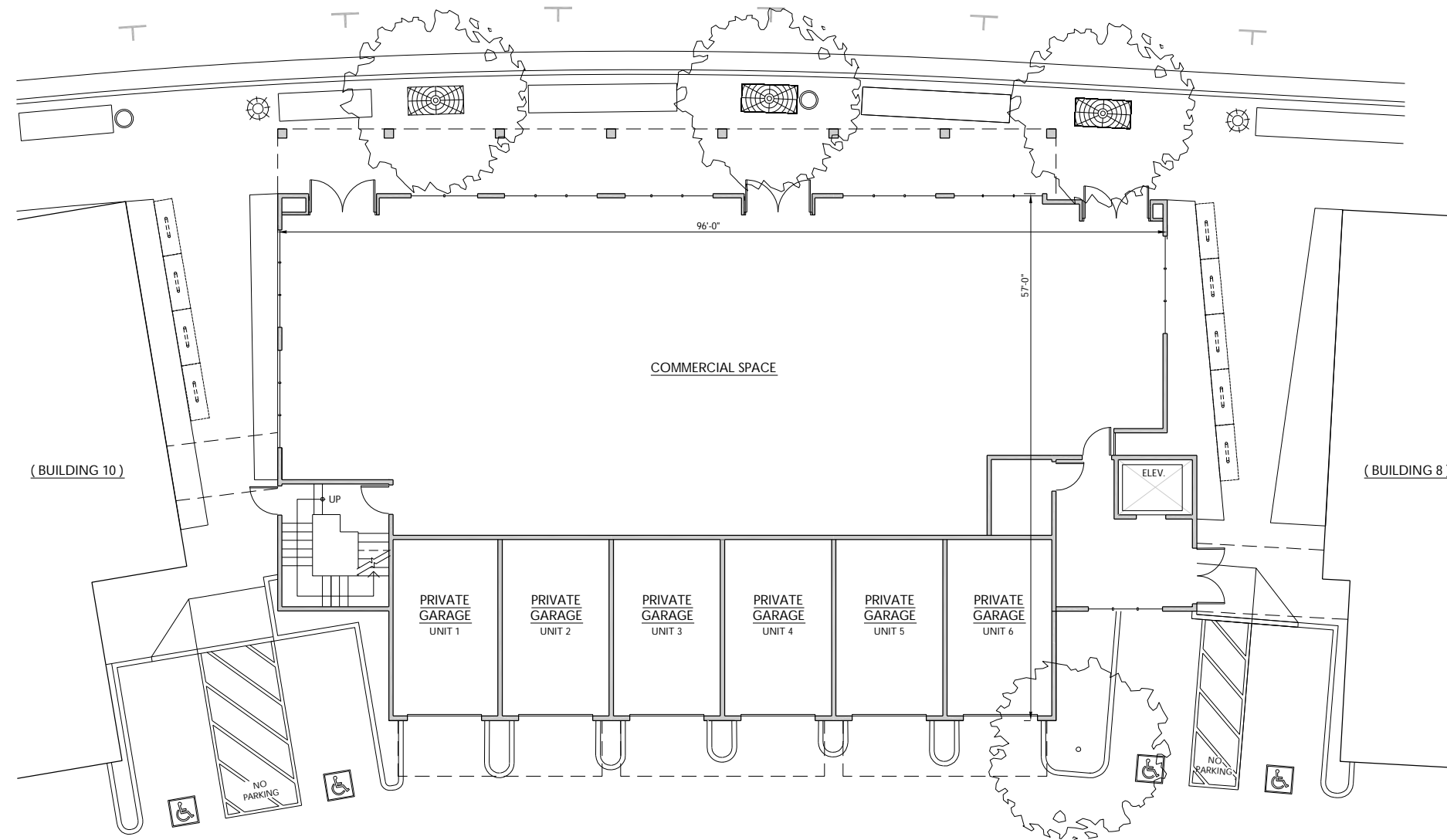


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

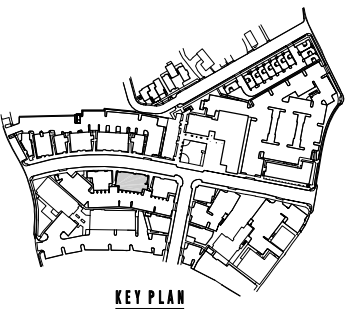


THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



<b>BUILDING 9 - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	3,254 SF
COMMERCIAL (NET)	2,766 SF
<b>RESIDENTIAL GARAGES</b>	
UNIT 1	236 SF
UNIT 2	236 SF
UNIT 3	236 SF
UNIT 4	236 SF
UNIT 5	236 SF
UNIT 6	236 SF
RESIDENTIAL COMMON AREA	486 SF



SCALE: 1/8" = 1'-0"



## BUILDING 9 FIRST FLOOR PLAN

### APTOS VILLAGE

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



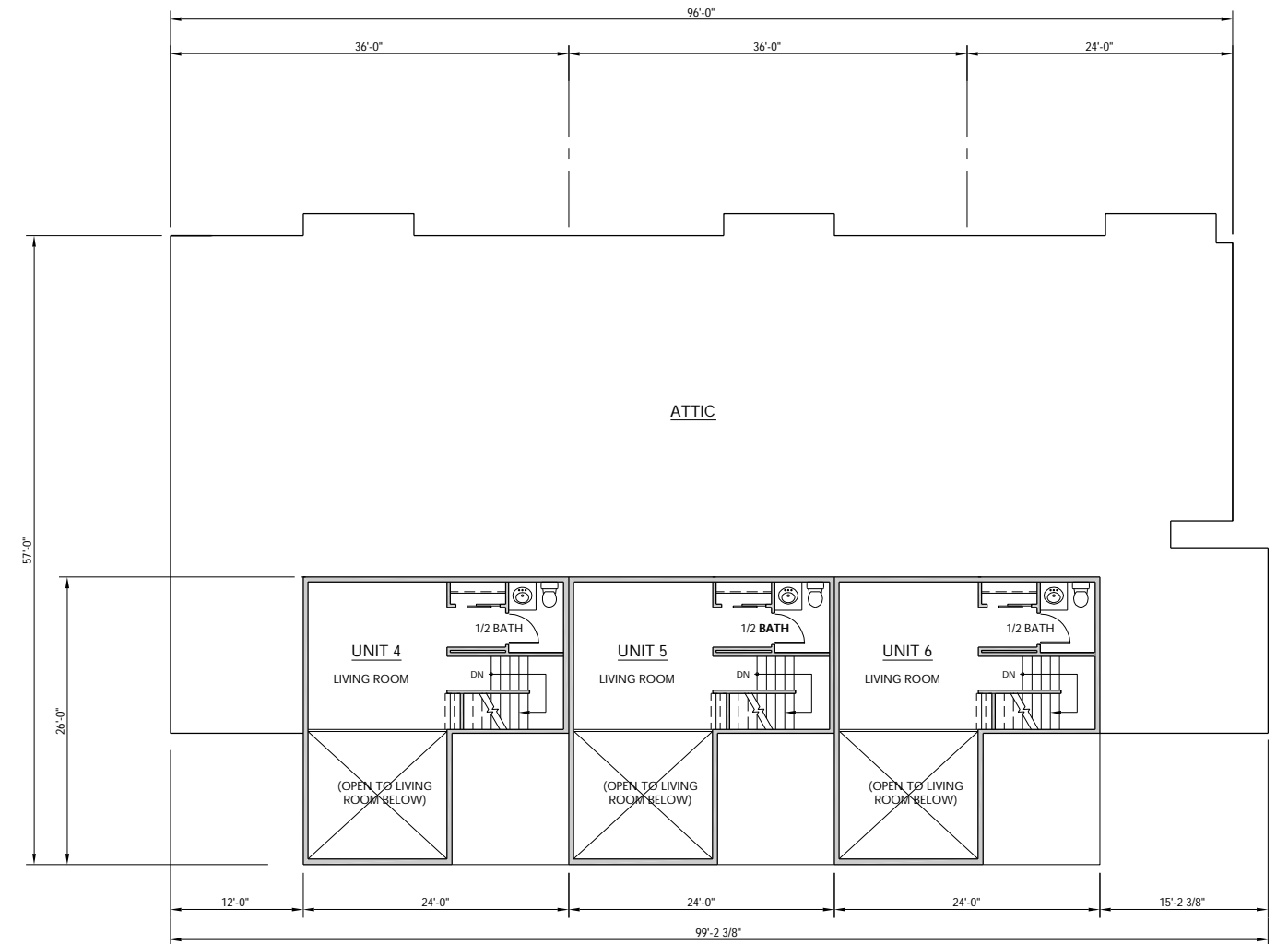
THACHER & THOMPSON ARCHITECTS

AUGUST 12, 2010  
JANUARY 15, 2011  
MAY 5, 2011



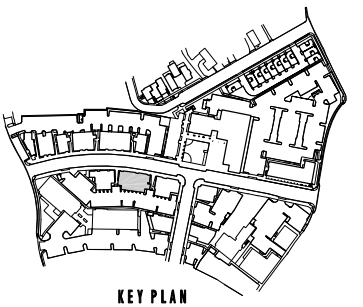


SECOND FLOOR PLAN



THIRD FLOOR PLAN

BUILDING 9 - SECOND FLOOR	
RESIDENTIAL	
UNIT 1	916 SF
UNIT 2	916 SF
UNIT 3	611 SF
UNIT 4	617 SF
UNIT 5	620 SF
UNIT 6	617 SF
BALCONY	
UNIT 1	24 SF
UNIT 2	24 SF
UNIT 3	24 SF
UNIT 4	132 SF
UNIT 5	132 SF
UNIT 6	132 SF
RESIDENTIAL COMMON AREA	930 SF
THIRD FLOOR	
RESIDENTIAL	
UNIT 4	260 SF
UNIT 5	260 SF
UNIT 6	260 SF



KEY PLAN

SCALE: 1/8" = 1'-0"



## BUILDING 9 SECOND & THIRD FLOOR PLANS

### APTOS VILLAGE

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER

A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

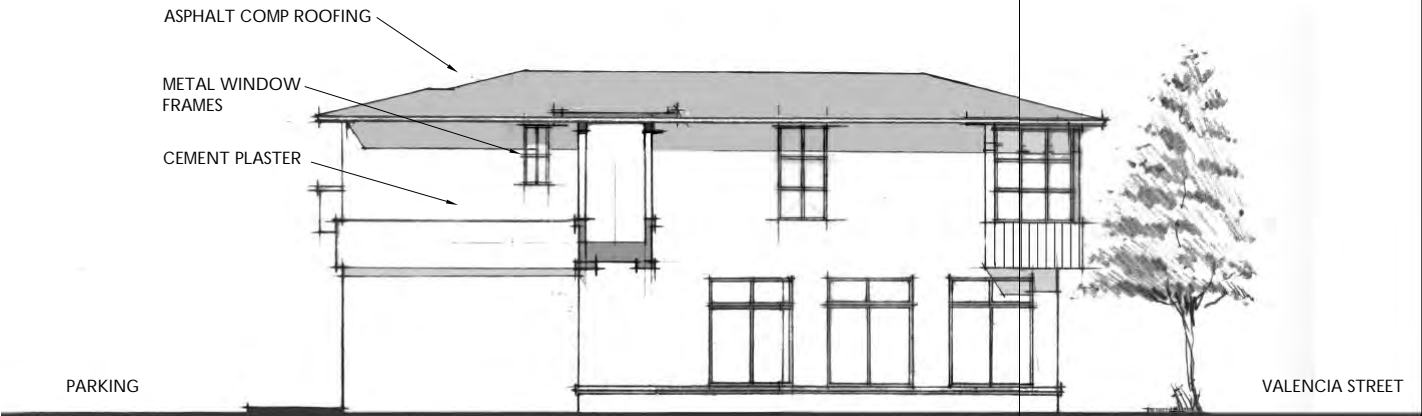
AUGUST 12, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MAY 5, 2011



**NORTH ELEVATION**



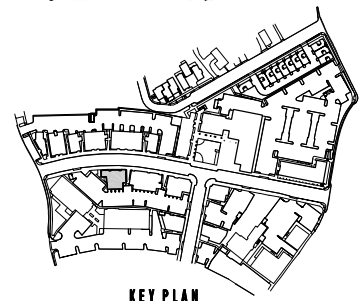
**WEST ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**KEY PLAN**

SCALE: 1/8" = 1'-0"  
0' 8' 16'

**BUILDING 10 ELEVATIONS**  
**APTOS VILLAGE**

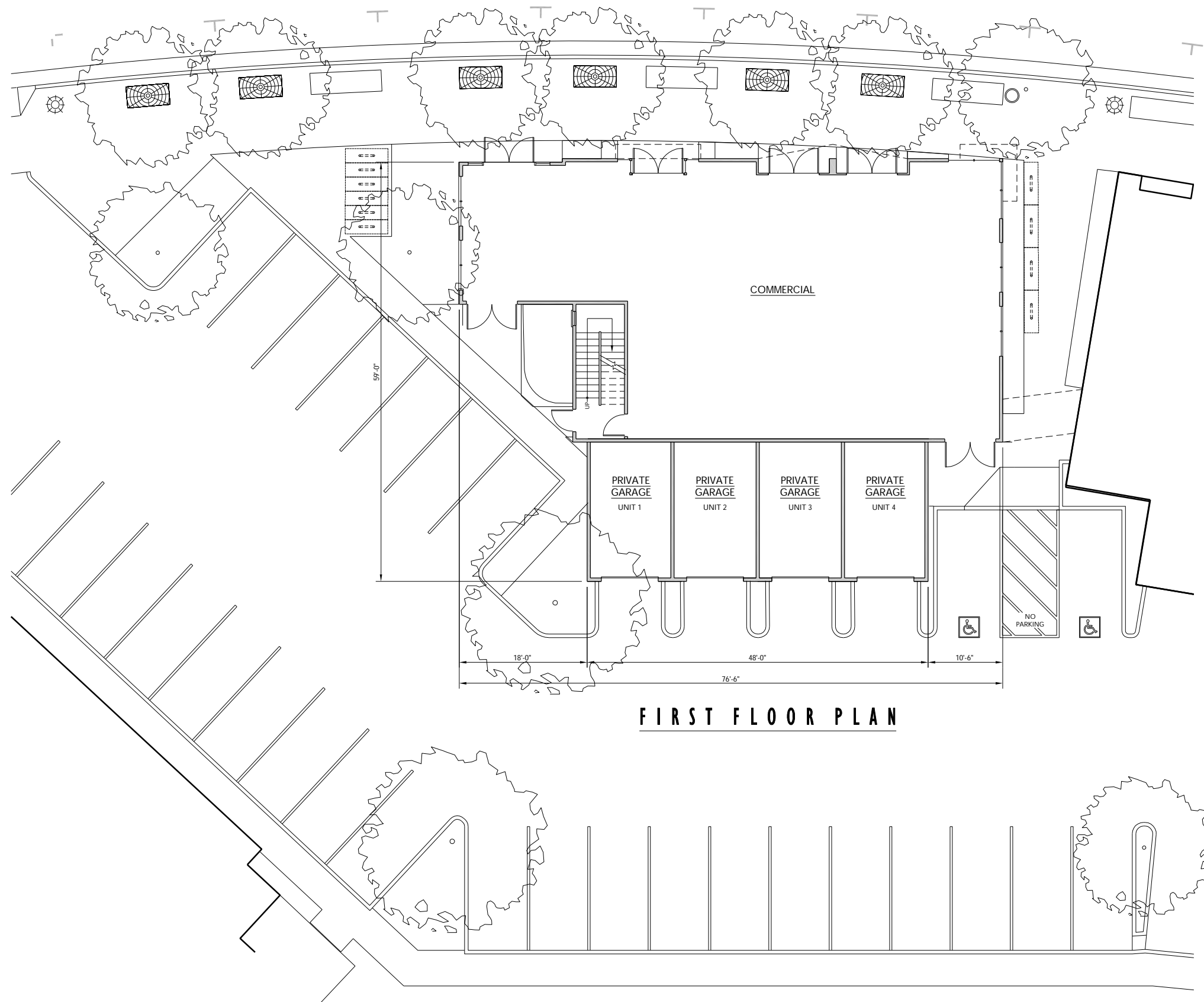
APN: 041-011-03, 20, 33



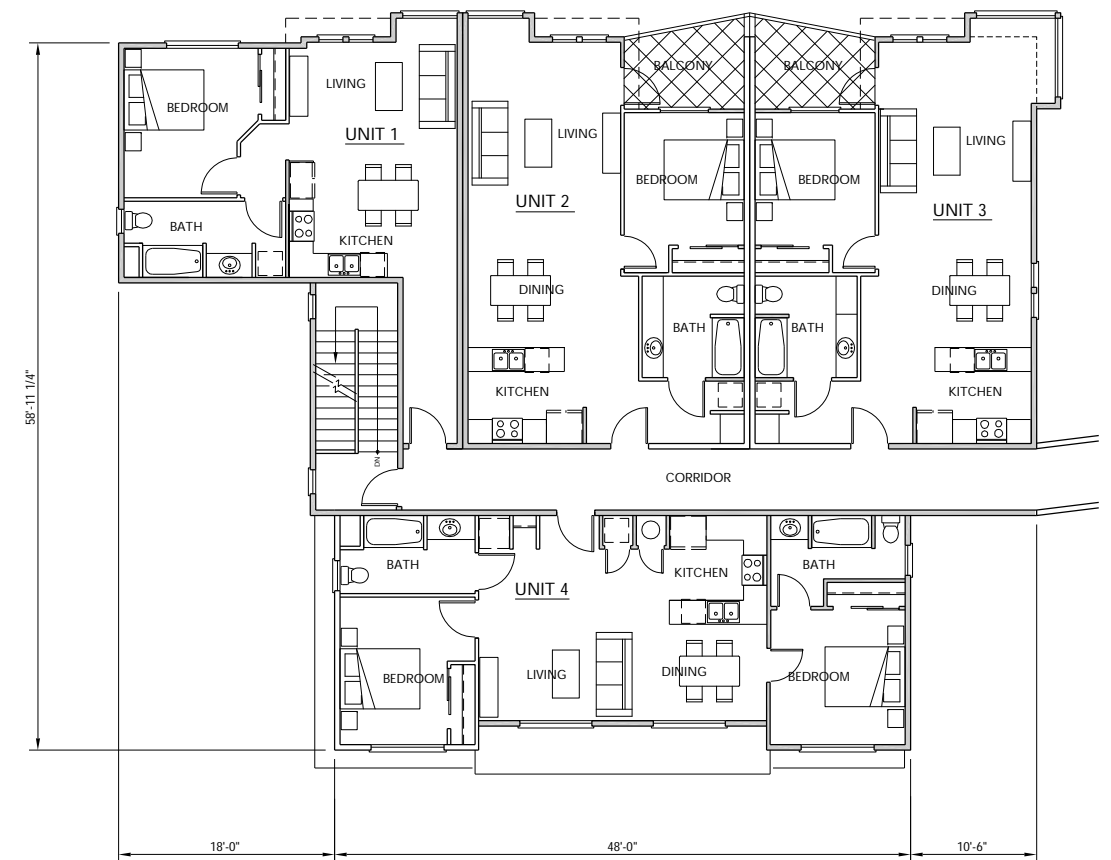
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A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

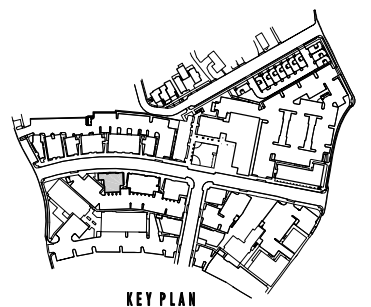


**FIRST FLOOR PLAN**



**SECOND FLOOR PLAN**

<b>BUILDING 10 - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	2,521 SF
COMMERCIAL (NET)	2,143 SF
<b>RESIDENTIAL GARAGES</b>	
UNIT 1	238 SF
UNIT 2	238 SF
UNIT 3	238 SF
UNIT 4	238 SF
RESIDENTIAL COMMON AREA	146 SF
TOTAL BUILDING AREA	3,619 SF
<b>SECOND FLOOR</b>	
RESIDENTIAL	661 SF
UNIT 1	765 SF
UNIT 2	781 SF
UNIT 3	901 SF
BALCONY	73 SF
UNIT 2	73 SF
UNIT 3	73 SF
RESIDENTIAL COMMON AREA	440 SF



**KEY PLAN**

SCALE: 1/8" = 1'-0"  
0' 8' 16'



# **BUILDING 10 FIRST & SECOND FLOOR PLANS** **APTOS VILLAGE**

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
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MAY 5, 2011



COMPOSITE SOUTH ELEVATION



COMPOSITE NORTH ELEVATION

SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

# BUILDING II COMPOSITE ELEVATIONS

## APTOS VILLAGE

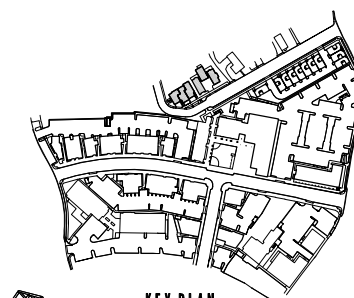


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
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MAY 5, 2011



KEY PLAN

11.1





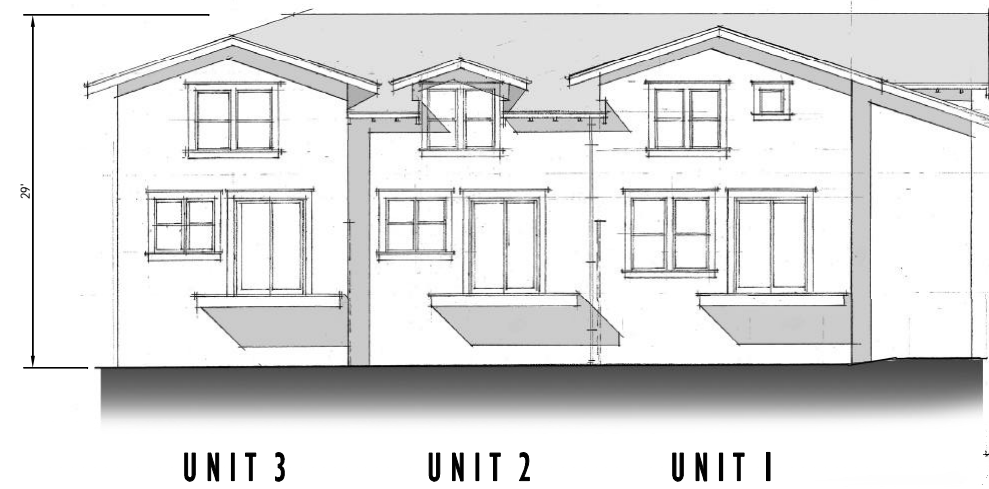
UNIT 1  
WEST ELEVATION



UNIT 1 UNIT 2 UNIT 3  
SOUTH ELEVATION



UNIT 3  
EAST ELEVATION



UNIT 3 UNIT 2 UNIT 1  
NORTH ELEVATION

SCALE: 1/8" = 1'-0"  
0' 8' 16'

APN: 041-011-03, 20, 33

# BUILDING II UNITS 1 - 2 ELEVATIONS

## APTOS VILLAGE

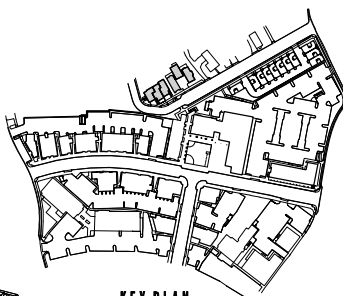


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



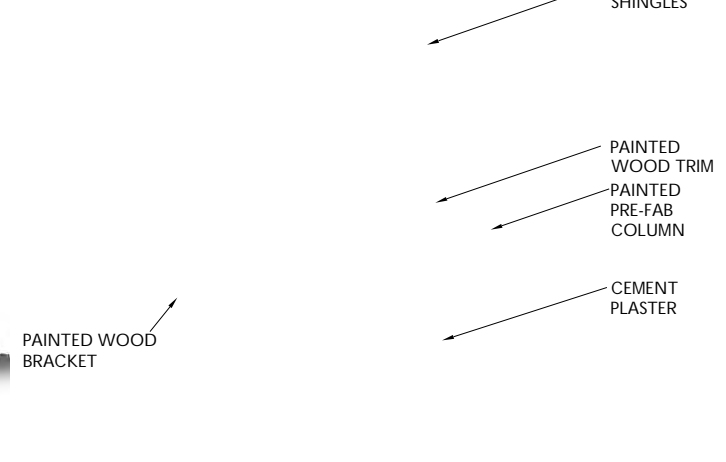
KEY PLAN



UNIT 6 NORTH ELEVATION



UNIT 6 EAST ELEVATION



UNIT 6 SOUTH ELEVATION



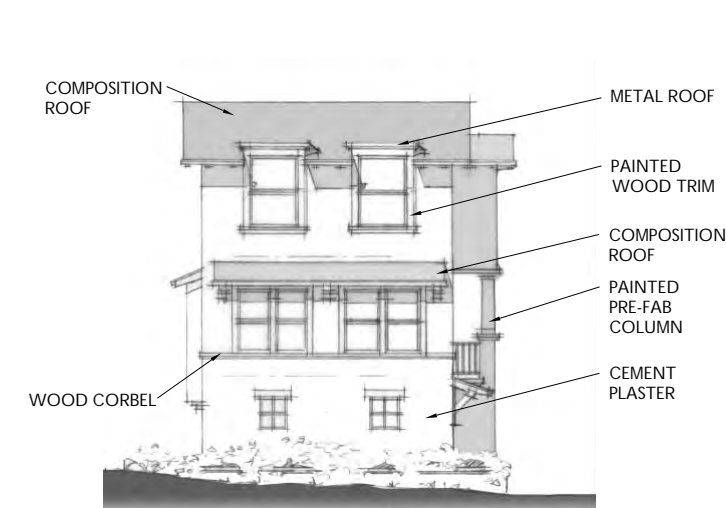
UNIT 6 WEST ELEVATION



UNIT 4 NORTH ELEVATION



UNIT 4 EAST ELEVATION



UNIT 4 SOUTH ELEVATION



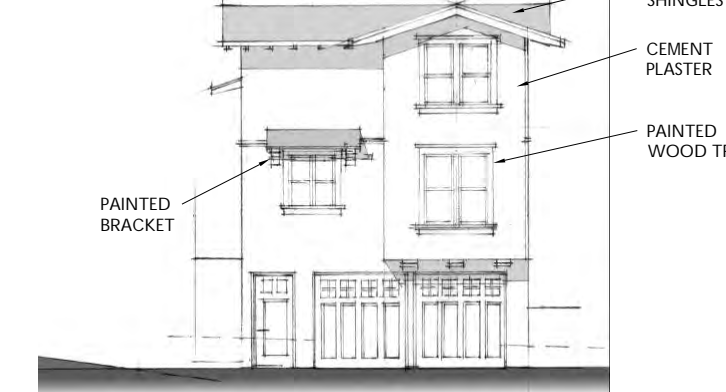
UNIT 4 WEST ELEVATION



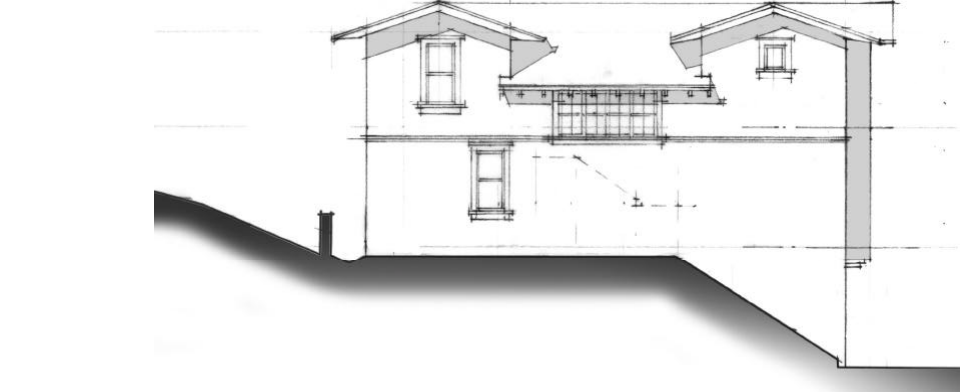
UNIT 5 NORTH ELEVATION



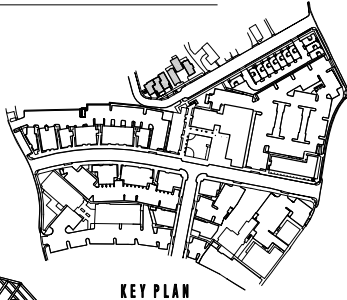
UNIT 5 EAST ELEVATION



UNIT 5 SOUTH ELEVATION



UNIT 5 WEST ELEVATION



KEY PLAN

SCALE: 1/8" = 1'-0"  
0' 8' 16'

BUILDING II UNITS 4 - 6 ELEVATIONS  
APTOS VILLAGE

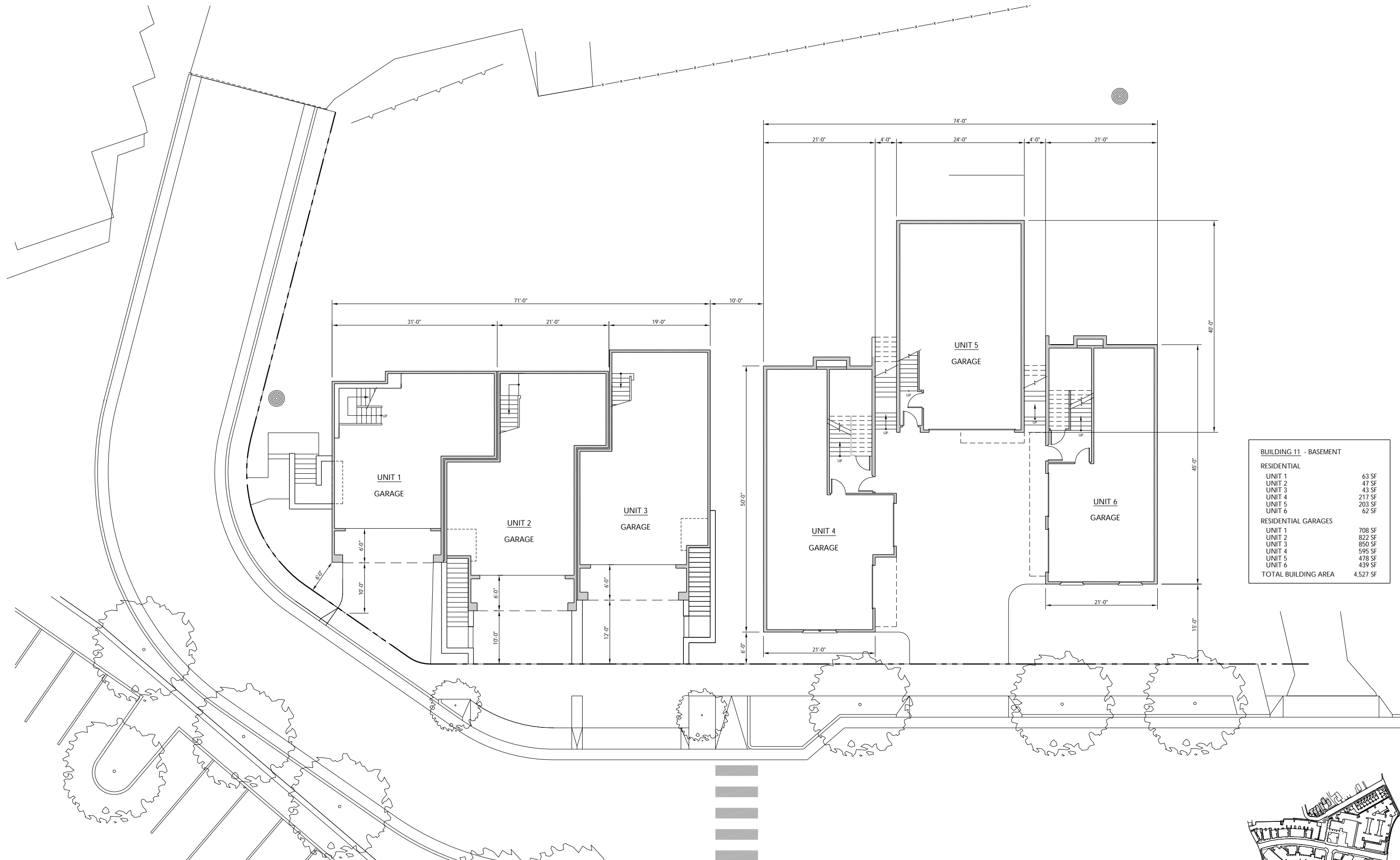
APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS  
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



BUILDING 11 - BASEMENT	
RESIDENTIAL	
UNIT 1	63 SF
UNIT 2	47 SF
UNIT 3	43 SF
UNIT 4	217 SF
UNIT 5	203 SF
UNIT 6	62 SF
RESIDENTIAL GARAGES	
UNIT 1	708 SF
UNIT 2	822 SF
UNIT 3	850 SF
UNIT 4	595 SF
UNIT 5	478 SF
UNIT 6	439 SF
TOTAL BUILDING AREA	4,527 SF

SCALE: 1/8" = 1'-0"

0' 8' 16'



# BUILDING 11 BASEMENT PLAN APTOS VILLAGE

APN: 041-011-03, 20, 33

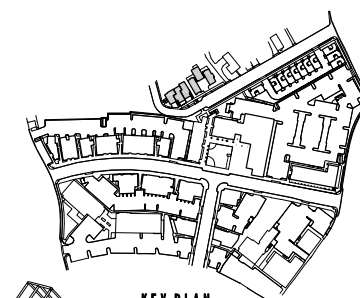


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

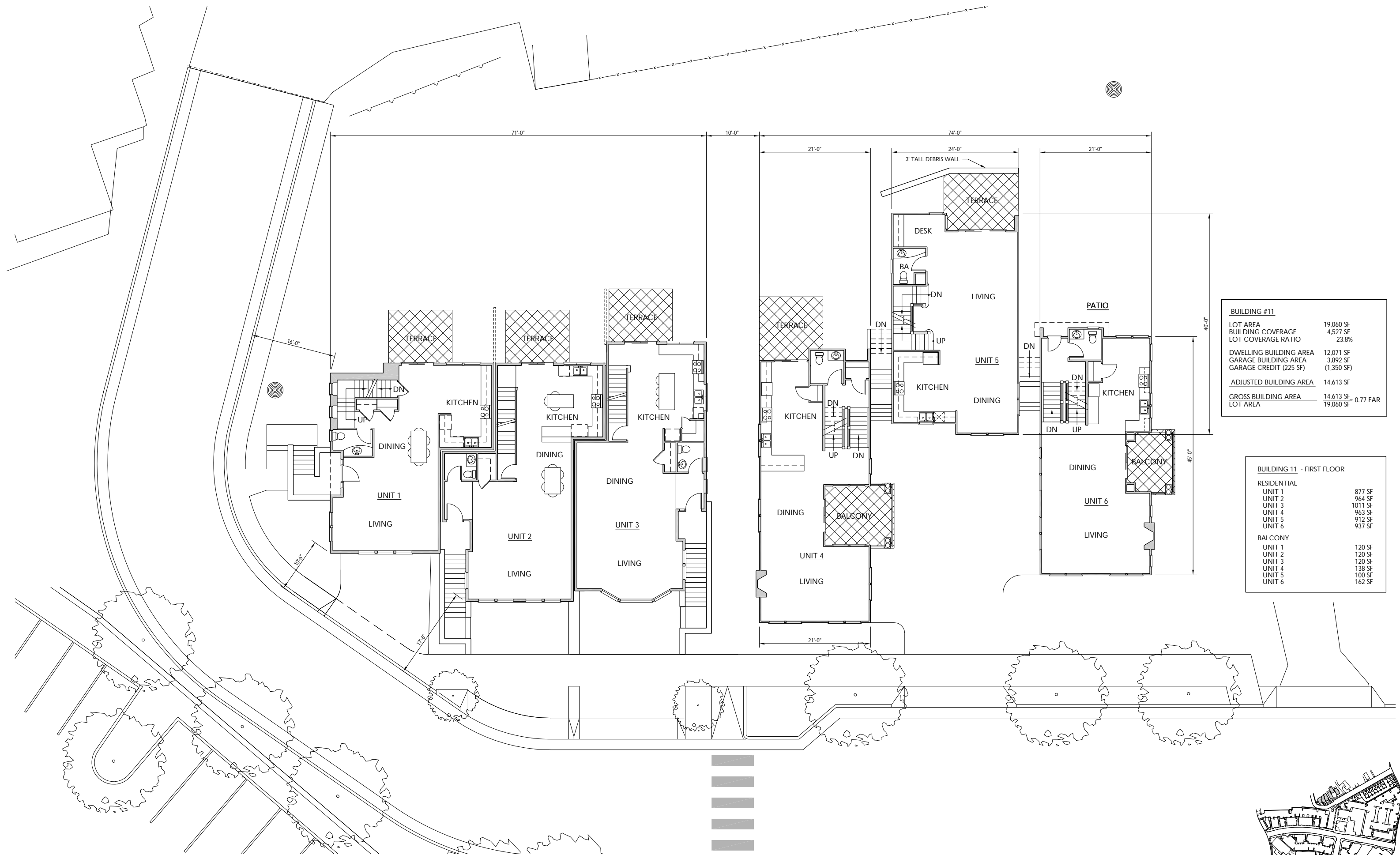


THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
NOVEMBER 17, 2010  
JANUARY 15, 2011  
MAY 5, 2011



KEY PLAN



<b>BUILDING #11</b>	
LOT AREA	19,060 SF
BUILDING COVERAGE	4,527 SF
LOT COVERAGE RATIO	23.8%
DWELLING BUILDING AREA	12,071 SF
GARAGE BUILDING AREA	3,892 SF
GARAGE CREDIT (225 SF)	(1,350 SF)
<b>ADJUSTED BUILDING AREA</b>	<b>14,613 SF</b>
GROSS BUILDING AREA	14,613 SF
LOT AREA	19,060 SF
	0.77 FAR

<b>BUILDING 11 - FIRST FLOOR</b>	
<b>RESIDENTIAL</b>	
UNIT 1	877 SF
UNIT 2	964 SF
UNIT 3	1011 SF
UNIT 4	963 SF
UNIT 5	912 SF
UNIT 6	937 SF
<b>BALCONY</b>	
UNIT 1	120 SF
UNIT 2	120 SF
UNIT 3	120 SF
UNIT 4	138 SF
UNIT 5	100 SF
UNIT 6	162 SF

SCALE: 1/8" = 1'-0"



# **BUILDING 11 FIRST FLOOR PLAN** **APTOS VILLAGE**

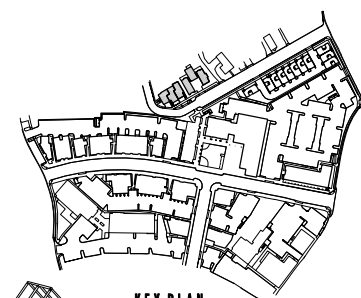
APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

THACHER & THOMPSON ARCHITECTS

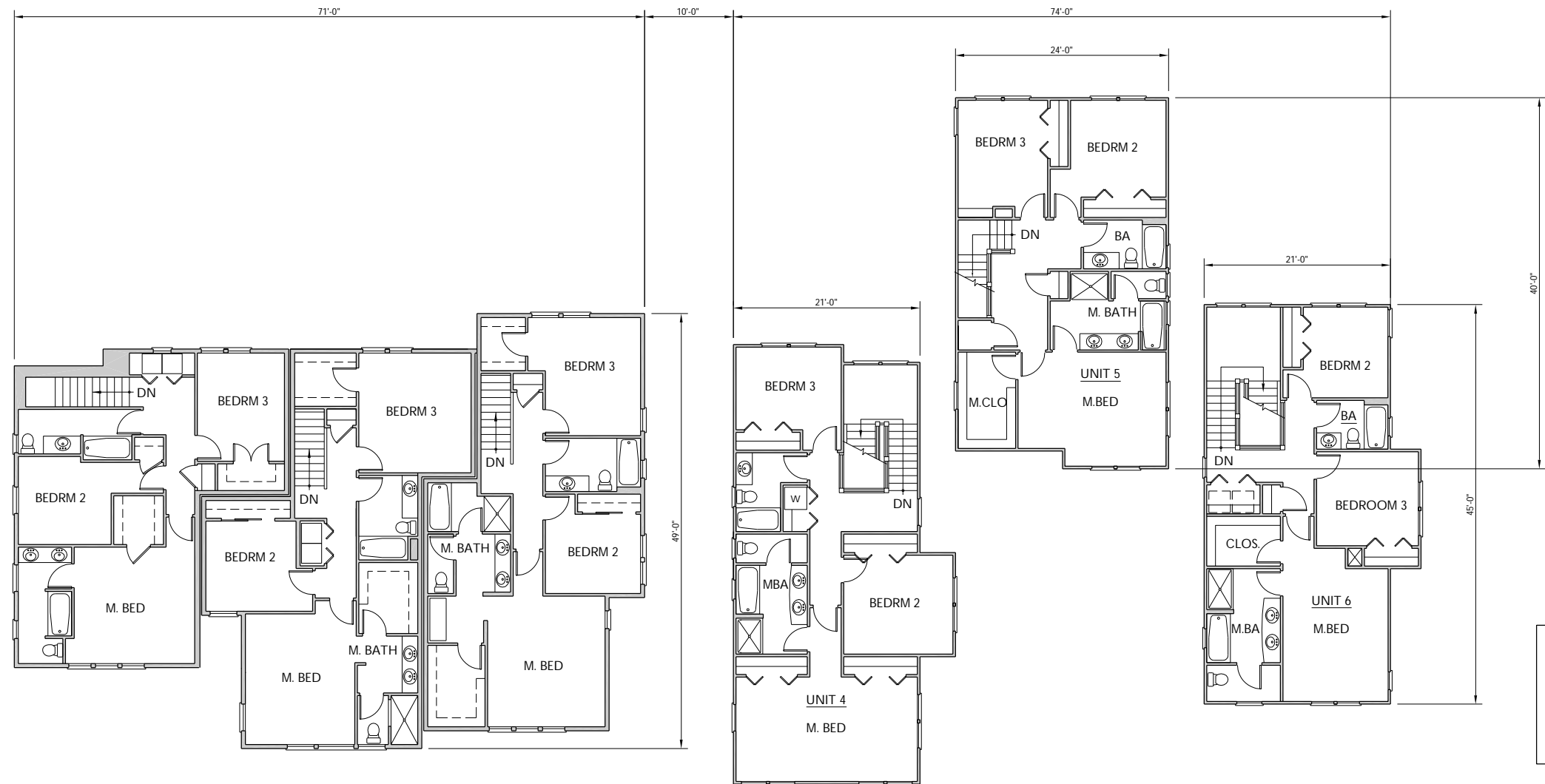
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JANUARY 15, 2011  
MAY 5, 2011



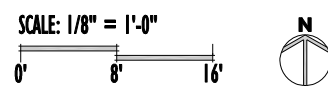
KEY PLAN

11.5





BUILDING 11 - SECOND FLOOR	
RESIDENTIAL	
UNIT 1	830 SF
UNIT 2	936 SF
UNIT 3	966 SF
UNIT 4	1069 SF
UNIT 5	992 SF
UNIT 6	979 SF



# **BUILDING 11 SECOND FLOOR PLAN** **APTOS VILLAGE**

APN: 041-011-03, 20, 33

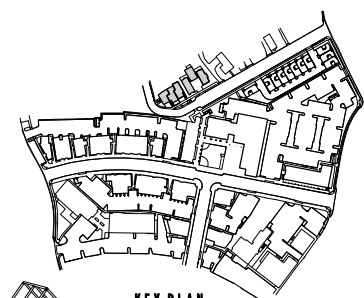


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

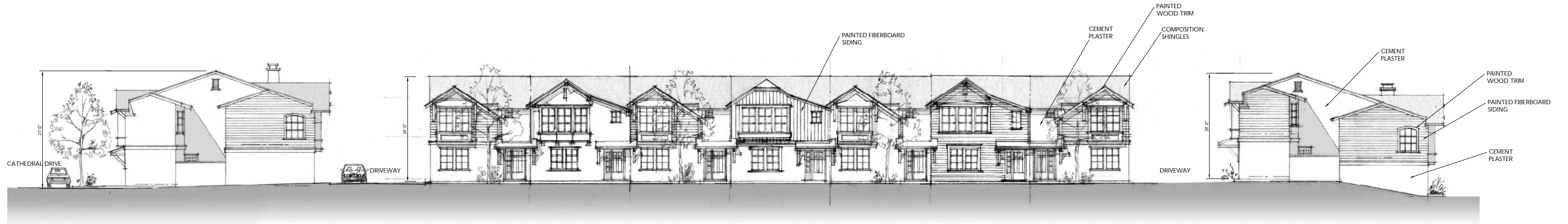


THACHER & THOMPSON ARCHITECTS

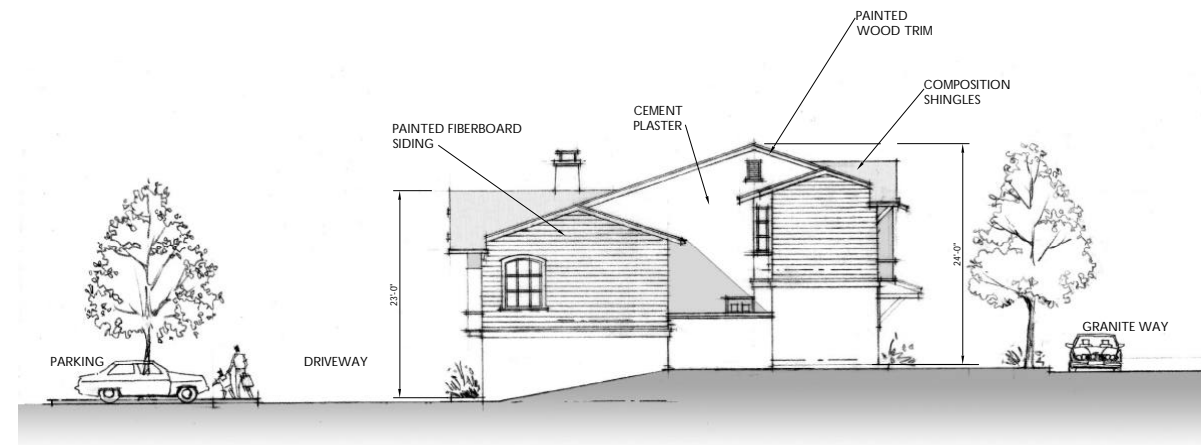
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



KEY PLAN



**NORTH ELEVATION**



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"  
0' 5' 10'

APN: 041-011-03, 20, 33

# **BUILDING 12 ELEVATIONS** **APTOS VILLAGE**

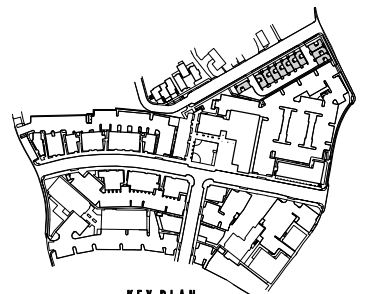


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



**KEY PLAN**



SOUTH ELEVATION



EAST ELEVATION

SCALE: 3/32" = 1'-0"  
0' 5' 10'

APN: 041-011-03, 20, 33

# **BUILDING 12 ELEVATIONS** **APTOS VILLAGE**

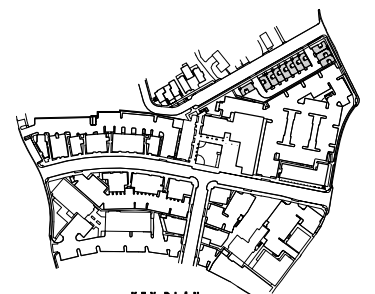


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

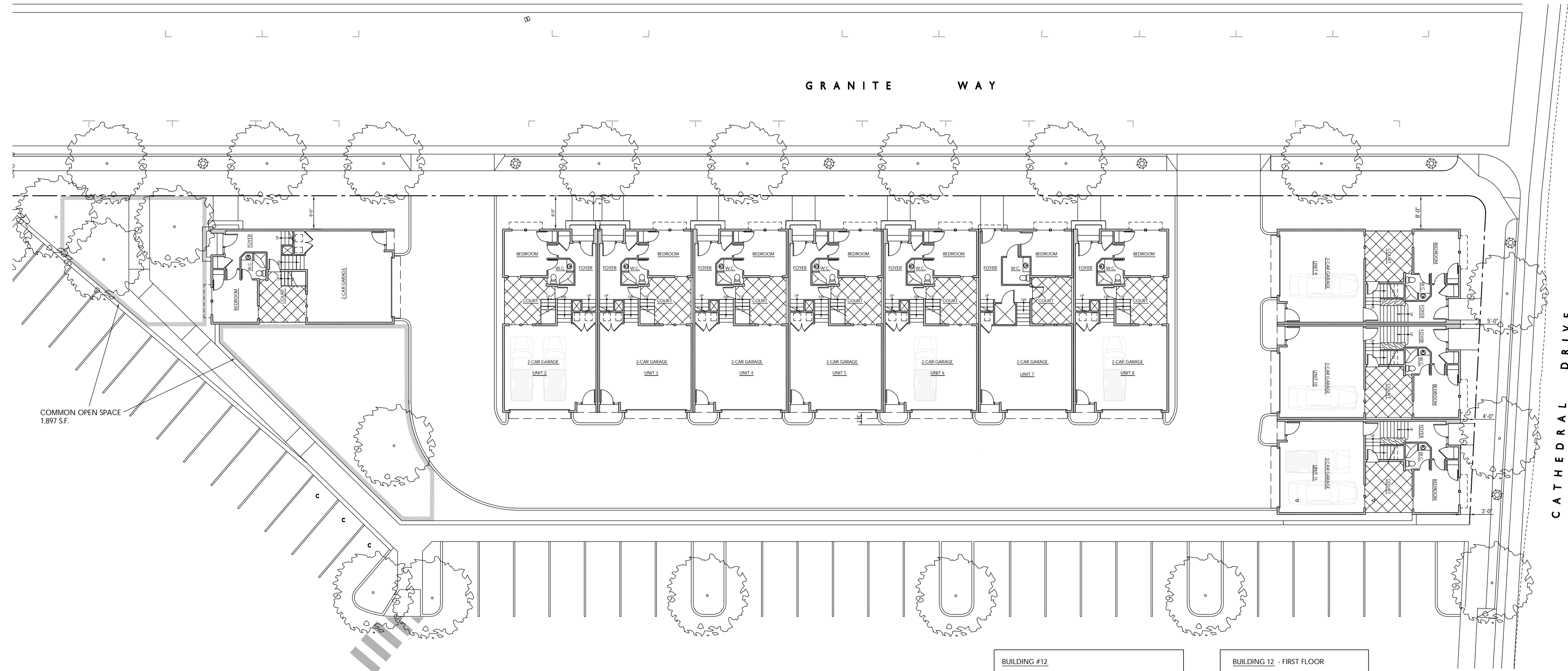


THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

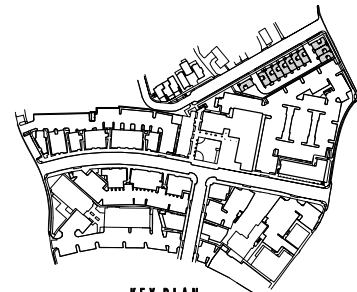


KEY PLAN



BUILDING #12		
LOT AREA	22,990 SF	
BUILDING AREA	9,281 SF	
BUILDING COVERAGE	40.4 %	
DWELLING BUILDING AREA	13,802 SF	
GARAGE BUILDING AREA	5,476 SF	
GARAGE CREDIT (225 SF)	(2,475) SF	
ADJUSTED BUILDING AREA	16,803 SF	
GROSS BUILDING AREA	16,803 SF	
LOT AREA	22,990 SF	= 0.73 FAR

BUILDING 12 - FIRST FLOOR	
RESIDENTIAL	
UNIT 1	338 SF
UNIT 2	338 SF
UNIT 3	338 SF
UNIT 4	338 SF
UNIT 5	338 SF
UNIT 6	338 SF
UNIT 7	338 SF
UNIT 8	338 SF
UNIT 9	367 SF
UNIT 10	367 SF
UNIT 11	367 SF
RESIDENTIAL GARAGES	
UNIT 1	506 SF
UNIT 2	506 SF
UNIT 3	506 SF
UNIT 4	506 SF
UNIT 5	506 SF
UNIT 6	506 SF
UNIT 7	506 SF
UNIT 8	506 SF
UNIT 9	476 SF
UNIT 10	476 SF
UNIT 11	476 SF
TOTAL BUILDING AREA	9,281 SF



SCALE: 3/32" = 1'-0"

0' 5' 10' 20'



## BUILDING 12 FIRST FLOOR PLAN

### APTOS VILLAGE



BARRY SWENSON BUILDER

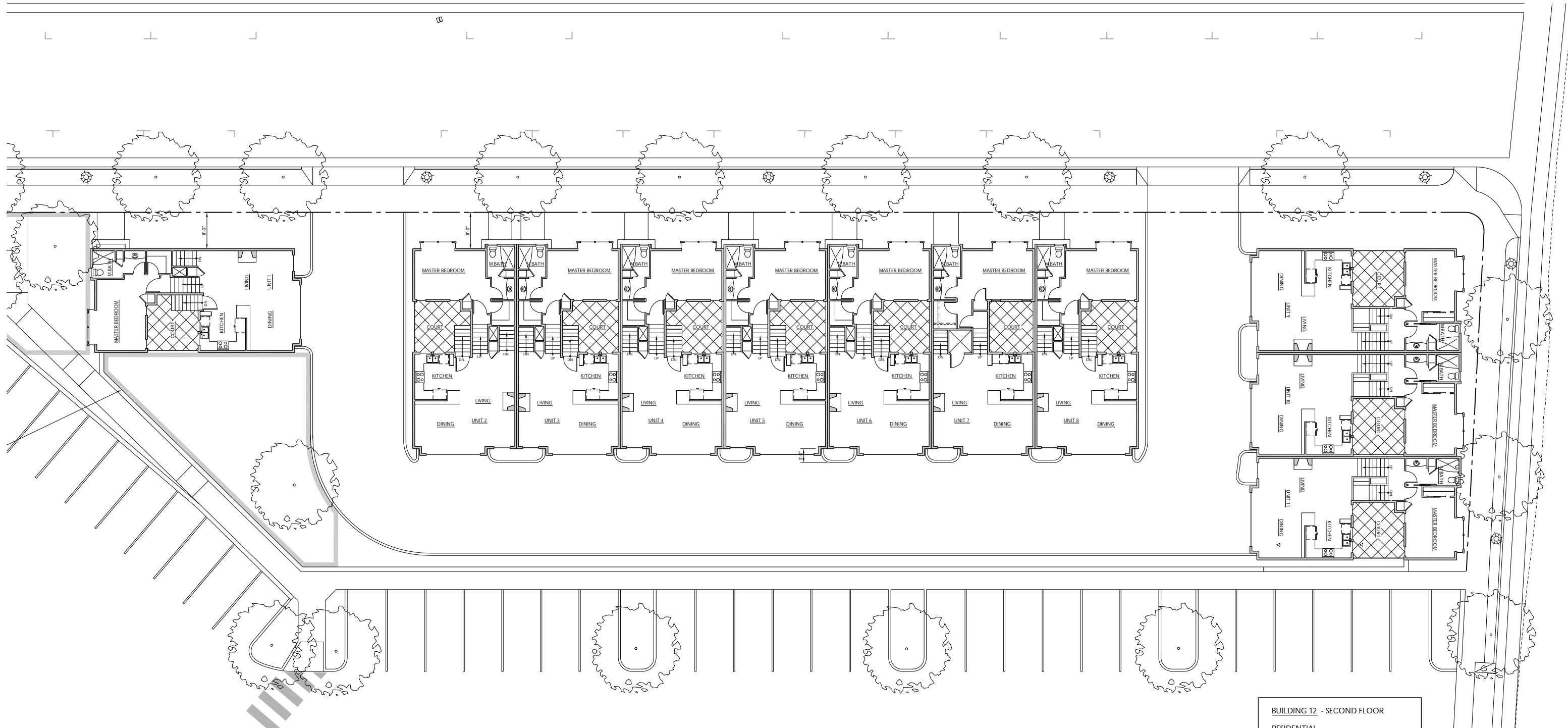


THACHER & THOMPSON ARCHITECTS

A DIVISION OF GREEN VALLEY CORP.

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011





BUILDING 12 - SECOND FLOOR	
RESIDENTIAL	
UNIT 1	908 SF
UNIT 2	908 SF
UNIT 3	908 SF
UNIT 4	908 SF
UNIT 5	908 SF
UNIT 6	908 SF
UNIT 7	908 SF
UNIT 8	908 SF
UNIT 9	911 SF
UNIT 10	911 SF
UNIT 11	911 SF

SCALE: 3/32" = 1'-0"

0' 5' 10' 20'



# BUILDING 12 SECOND FLOOR PLAN APTOS VILLAGE

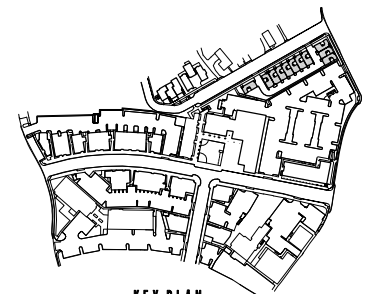


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



KEY PLAN



**SOUTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"  
0' 5' 10' 20'

APN: 041-011-03, 20, 33

# **BUILDING 14 ELEVATIONS** **APTOS VILLAGE**

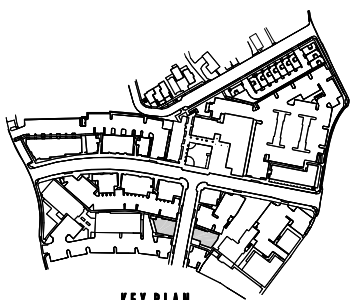


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



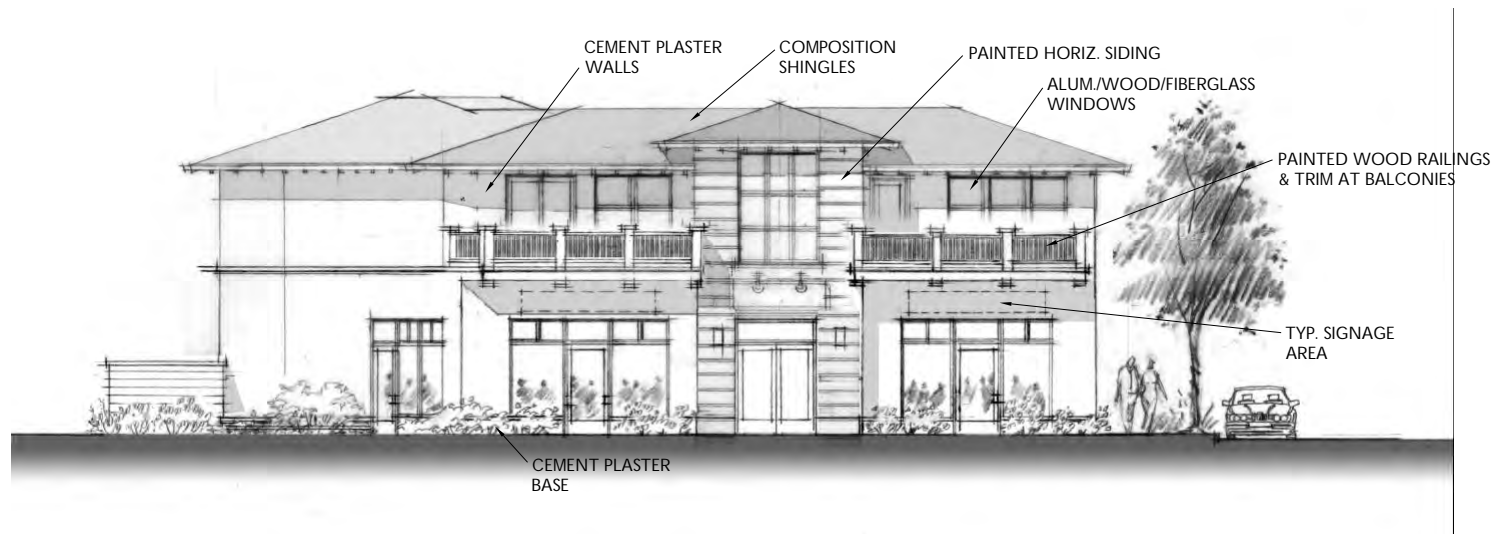
THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

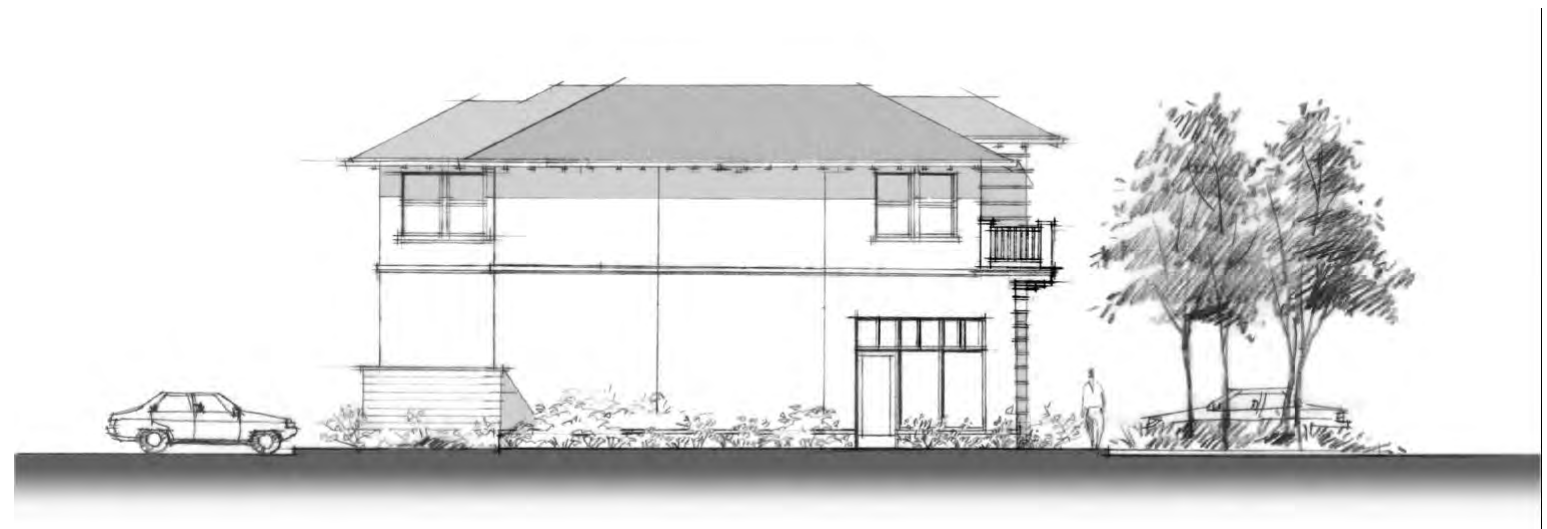


**KEY PLAN**

**14.1**



**SOUTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"  
0' 5' 10' 20'

APN: 041-011-03, 20, 33

# **BUILDING 15 ELEVATIONS** **APTOS VILLAGE**

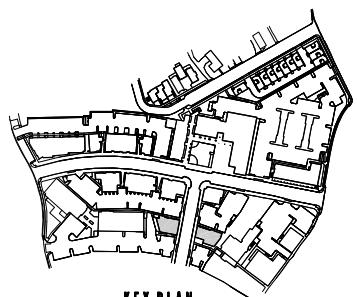


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



**KEY PLAN**

**14.2**



BUILDING 15



BUILDING 14

SOUTH ELEVATION



BUILDING 14



BUILDING 15

NORTH ELEVATION

SCALE: 3/32" = 1'-0"  
0' 5' 10' 20'

APN: 041-011-03, 20, 33

**BUILDINGS 14 & 15 COMPOSITE ELEVATIONS**  
**APTOS VILLAGE**

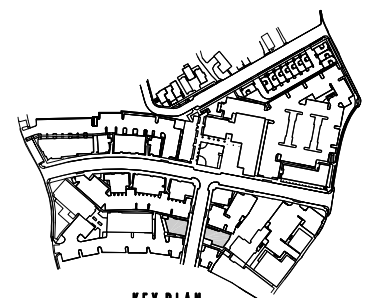


BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

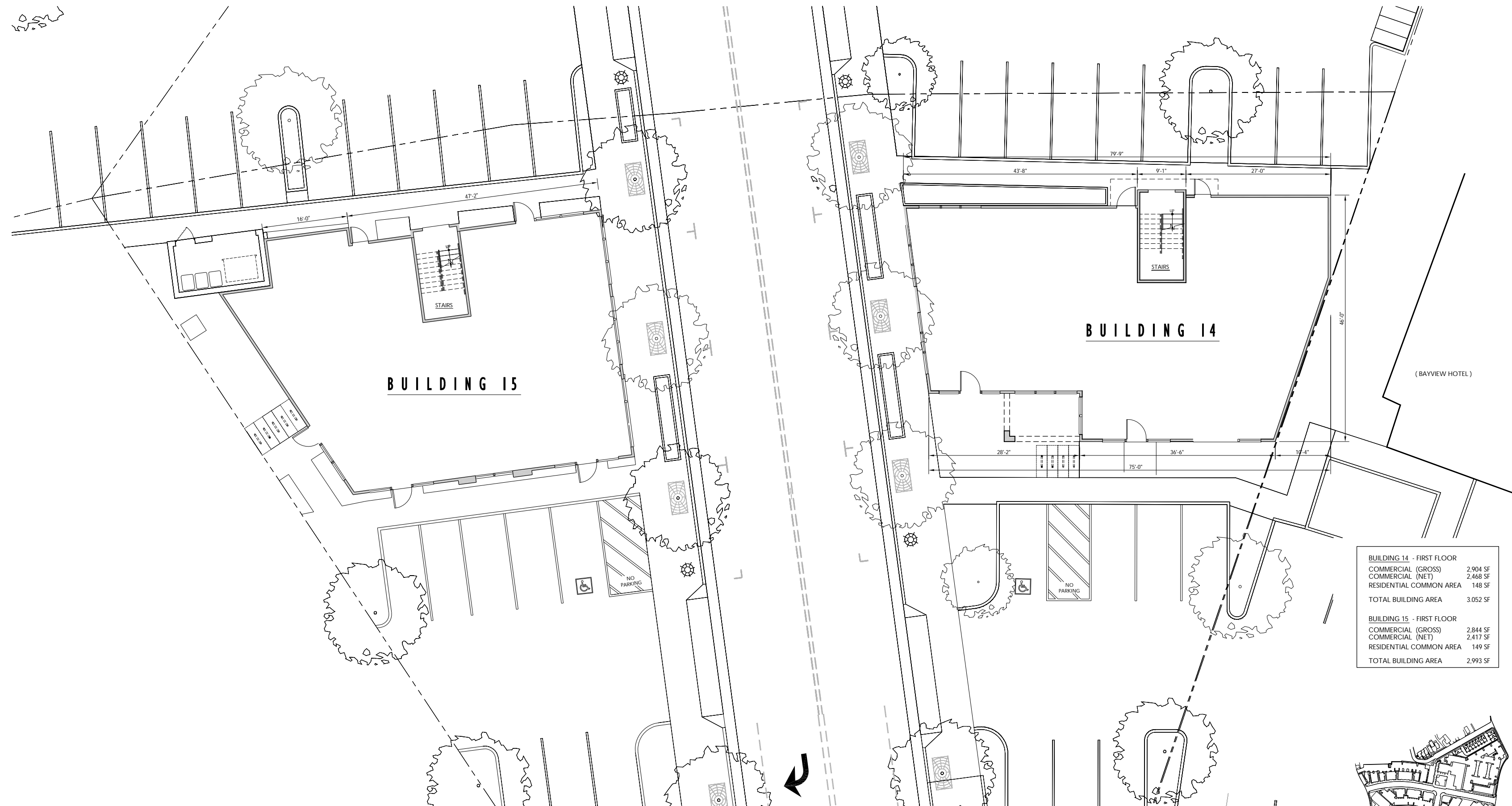
OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011



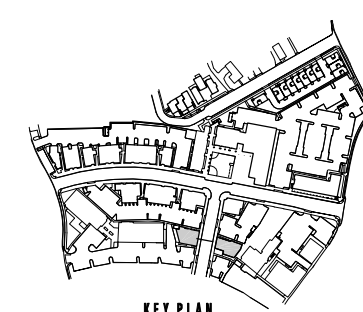
KEY PLAN

14.3





<b>BUILDING 14 - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	2,904 SF
COMMERCIAL (NET)	2,468 SF
RESIDENTIAL COMMON AREA	148 SF
<b>TOTAL BUILDING AREA</b>	<b>3,052 SF</b>
<b>BUILDING 15 - FIRST FLOOR</b>	
COMMERCIAL (GROSS)	2,844 SF
COMMERCIAL (NET)	2,417 SF
RESIDENTIAL COMMON AREA	149 SF
<b>TOTAL BUILDING AREA</b>	<b>2,993 SF</b>



SCALE: 1/8" = 1'-0"

0' 8' 16'



# **BUILDINGS 14 & 15 FIRST FLOOR PLANS** **APTOS VILLAGE**

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.

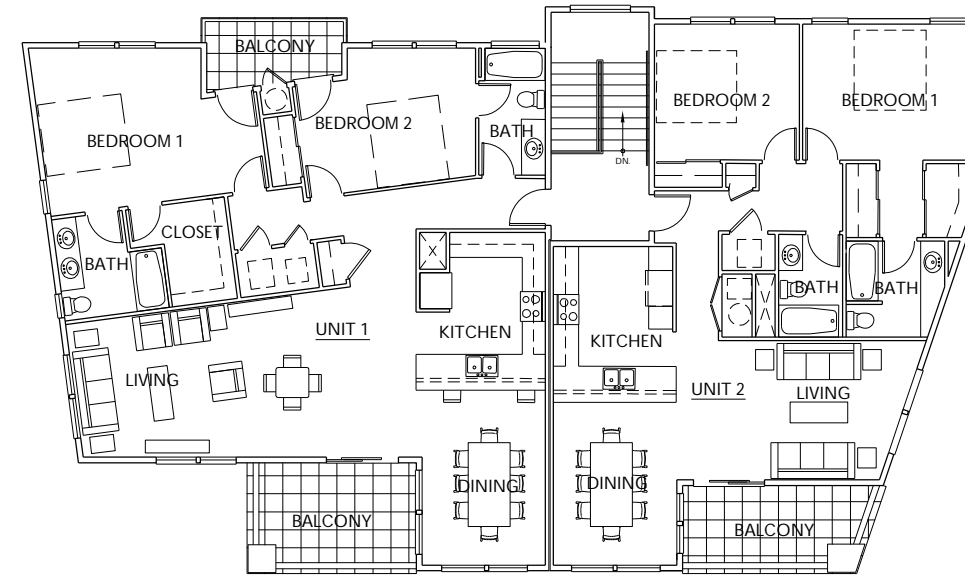


THACHER & THOMPSON ARCHITECTS

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JANUARY 15, 2011  
MAY 5, 2011

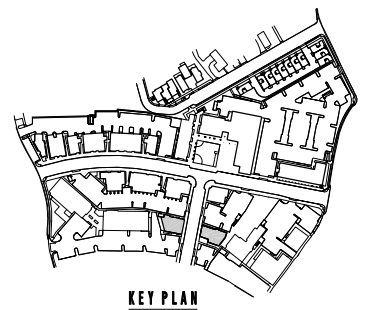


**BUILDING 15**



**BUILDING 14**

<b>BUILDING 14 - SECOND FLOOR</b>	
RESIDENTIAL	
UNIT 1	1,516 SF
UNIT 2	1,216 SF
BALCONY	
UNIT 1	195 SF
UNIT 2	116 SF
RESIDENTIAL COMMON AREA	171 SF
<b>BUILDING 15 - SECOND FLOOR</b>	
RESIDENTIAL	
UNIT 1	1,313 SF
UNIT 2	1,370 SF
BALCONY	
UNIT 1	121 SF
UNIT 2	124 SF
RESIDENTIAL COMMON AREA	180 SF



**KEY PLAN**

SCALE: 1/8" = 1'-0"



# **BUILDINGS 14 & 15 SECOND FLOOR PLANS**

## **APTOS VILLAGE**

APN: 041-011-03, 20, 33



BARRY SWENSON BUILDER  
A DIVISION OF GREEN VALLEY CORP.



THACHER & THOMPSON ARCHITECTS

OCTOBER 15, 2010  
JANUARY 15, 2011  
MAY 5, 2011

Vesting Tentative Map  
Tract Number 1561  
Preliminary Improvement Plans

Aptos Village

Santa Cruz County, California

Project Data

Owner & Subdivider

BARRY SWENSON BUILDER  
777 N. FIRST STREET, 5TH FLOOR  
SAN JOSE, CA 95112

Existing Use

COMMERCIAL AND VACANT LAND

Proposed Use

COMMERCIAL AND RESIDENTIAL VILLAGE

Water Supply

SOQUEL CREEK WATER DISTRICT

Fire Protection

APTOS/LA SELVA FIRE DISTRICT

Sewer Disposal

SANTA CRUZ COUNTY SANITATION DISTRICT

Gas & Electric

PACIFIC GAS & ELECTRIC

Area Subject to Inundation

NONE

Total Area of Site

500,052 S.F. / 11.48 ACRES

Benchmark

COUNTY OF SANTA CRUZ BENCHMARK #36 - A  
METAL RIVET IN THE TOP OF WINGWALL AT  
NORTHERLY END OF RAILROAD BRIDGE OVER  
APTOS CREEK, WEST END OF APTOS

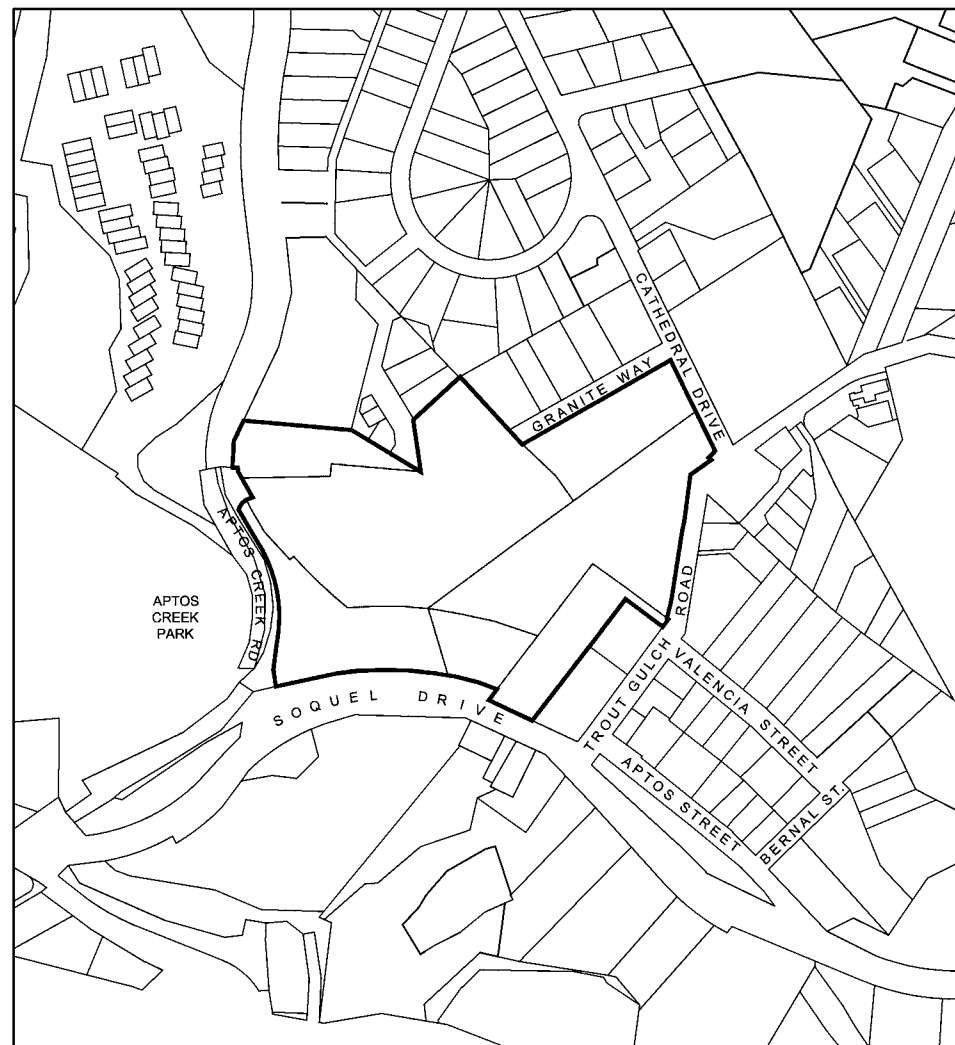
ELEVATION = 105.993 NGVD 29 (ADJUSTED)

TBM: RIM OF SANITARY SEWER MANHOLE IN  
APTOS CREEK ROAD (T. HOPKINS) WESTERLY OF  
APTOS STATION (REFER TO SHEET 6 FOR  
LOCATION)

ELEVATION = 110.42

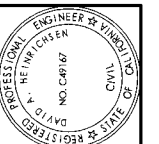
NOTE: ELEVATIONS SHOWN ON THESE PLANS  
HAVE BEEN ADJUSTED 0.54 FEET BELOW THE  
COUNTY BENCHMARK

Vicinity Map

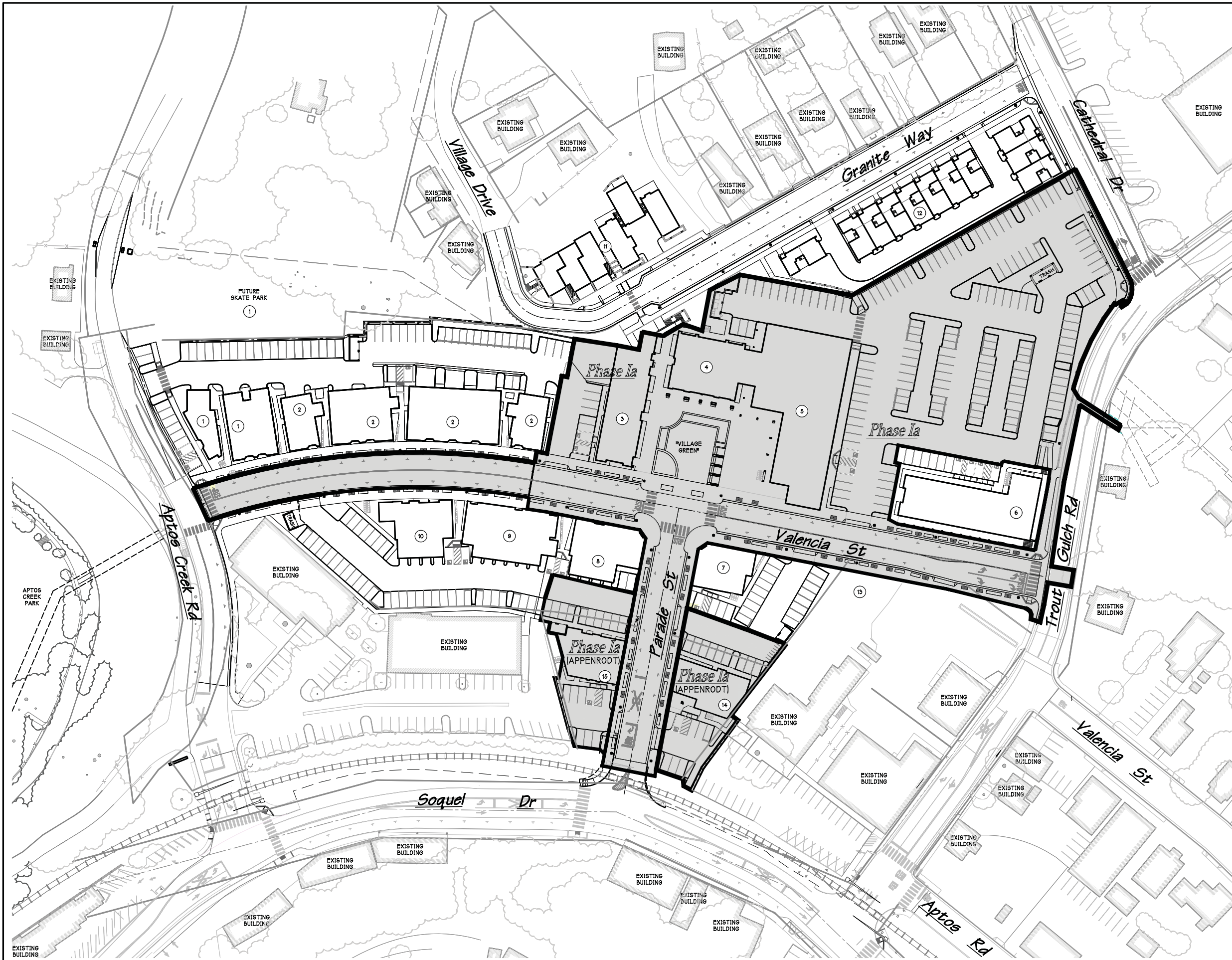


Index of Sheets

SHEET NO.	DESCRIPTION
TM1	COVER SHEET
TM1a	PRELIMINARY PHASING PLAN
TM1b	NOTES, ABBREVIATIONS, SYMBOLS, & LINE TYPES
TM2	EXISTING TOPOGRAPHY & DEMOLITION PLAN
TM3	EXISTING PARCELS
TM4	PROPOSED PARCELS
TM5	PRELIMINARY SITE PLAN
TM6	PRELIMINARY MASS GRADING PLAN
TM7	PRELIMINARY GRADING SECTIONS
TM8 - TM14	PRELIMINARY GRADING & DRAINAGE PLANS
TM15	PRE & POST TRIBUTARY DRAINAGE MAP
TM16	PRELIMINARY DRAINAGE OUTFALL (APTOS CREEK PARK)
TM17	PLAN & PROFILE - TROUT GULCH ROAD
TM18	PLAN & PROFILE - PARADE STREET
TM19 - TM20	PLAN & PROFILE - VALENCIA STREET
TM21 - TM22	PLAN & PROFILE - GRANITE WAY
TM23 - TM24	PLAN & PROFILE - APTOS CREEK ROAD
TM25	PLAN & PROFILE - CATHEDRAL DRIVE PRELIMINARY
TM26 - TM32	UTILITY PLANS
TM33	DETAILS
TM34	RETAINING WALL PROFILES
TM35	RETAINING WALL SECTIONS
TM36-TM37	STREET DRAINAGE SYSTEM
EC1 - EC5	EROSION CONTROL PLANS
EC6	EROSION CONTROL DETAILS



8-31-11	For Planning Commission Review	8-31-11	DATE
6-15-11	County Review Comments (4th Routing)	6-15-11	DATE
4-28-11	County Review Comments (3rd Routing)	4-28-11	DATE
1-18-11	County Review Comments (2nd round)	1-18-11	DATE
<b>REVISION</b>			
BY	APPROVED		
<b>For Plan Check Only</b>			
DAVID HEINRICHSEN (RCE NO. 49767)			DATE

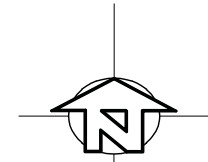


**Building Key**

- ① MIXED-USE BUILDING (LOTS 10411)
- ② MIXED USE WITH SMALL SHOPS BUILDINGS (LOTS 12-15)
- ③ MIXED USE WITH CONDO FLATS BUILDING (LOT 16)
- ④ LANDMARK COMMERCIAL BUILDING (LOT 17)
- ⑤ APPLE BARN ANCHOR RETAIL BUILDING (LOT 18)
- ⑥ LARGE TENNANT COMMERCIAL BUILDING (LOT 19)
- ⑦ SMALL MIXED USE BUILDING (LOT 5)
- ⑧ CORNER MIXED-USE BUILDING (LOT 6)
- ⑨ MID-BLOCK MIXED-USE BUILDINGS (LOT 7)
- ⑩ WEST MIXED-USE BUILDINGS (LOT 8)
- ⑪ HILLSIDE CLUSTER TOWNHOUSES (LOTS 31-36)
- ⑫ TOWNHOUSES (LOTS 20-30)
- ⑬ EXISTING BAYVIEW HOTEL (LOT 4)
- ⑭ EAST PARADE MIXED-USE BUILDING (LOT 3)
- ⑮ WEST PARADE MIXED-USE BUILDING (LOT 2)

**NOTE:**  
THE PHASING DIAGRAM SHOWN ON THIS SHEET SUPERCEDES ALL OTHER PHASING REFERENCES THROUGHOUT THE FOLLOWING SHEETS.

FOR ADDITIONAL NOTES REGARDING INFRASTRUCTURE PHASING REFER TO SHEETS TM13 AND TM19.



**Tentative Map - Preliminary Phasing Plan**  
SCALE: 1" = 50'

For Plan Check Only			
DATE	REVISION	REVIEWER	DATE
6-15-11	County Review Comments 14th Routing		
4-28-11	County Review Comments 3rd Routing		
4-14-11	County Review Comments 2nd Routing		
3-15-11	County Review Comments 1st Routing		

Tentative Map - Preliminary Phasing Plan

**Aptos Village**

Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APN 041-011-032023

DATE	DRAWN
8/12/10	DJD
	DAH

TM1a

07040



IE	EXISTING
IM	MODIFY
IN	NEW
IP	PROPOSED
AC	ASPHALT
ADA	AMERICAN DISABILITY ACT
BTP	BLOCKFLOW PREVENTER
BLDG	BUILDING
BOCT	BOTTOM CHAMBER
BVC	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BW	BOTTOM WALL
CD	THROUGH CURB DRAIN
CI	CURB INLET
CR	CONTROL RELEASE STRUCTURE
D/W	DRIVEWAY APRON
DOM	DOMESTIC
DS	DRAINAGE SYSTEM
EUC	EUCALYPTUS TREE
END	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FW	FIRE WATER
GP	GARAGE FLOOR
GFL	GUTTER FLOWLINE
GV	GATE VALVE
HOPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
INV	INVERT
JNPR	JUNIPER TREE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
R/W	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
RO	ROAD DRAIN
ROWD	REDWOOD TREE
RES	RESIDENCE
RGB	RAIN GARDEN BUBBLER
RSD	RAIN GARDEN DRAIN
SB	SPLASH BLOCK
SUD	PERFORATED SUBDRAIN
SCWD	SQUEL CREEK WATER DISTRICT
SD	STORM DRAIN
SDI	STORM DRAIN CURB INLET
SDCRB	STORM DRAIN CONTROLLED RELEASE BOX
SODI	STORM DRAIN INLET
SODJ	STORM DRAIN JUNCTION BOX
SOMH	STORM DRAIN MANHOLE
STL	STREET LIGHT
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSL	SANITARY SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
STA	STATION
TP	TOP OF GRATE
TOP	TOP CHAMBER
TW	TOP WALL
TW	TREE WELL
TYP	TYPICAL
VC	VERTICAL CURVE
VCP	VITRIFIED CLAY PIPE
W MAIN	WATER MAIN
WSL	WATER SERVICE LATERAL

<u>EXISTING</u>	
	BUILDING FOOTPRINT
	TREE TRUNK
	DRIP LINE BRUSH & MISC VEGETATION
	MAJOR CONTOURS
	MINOR CONTOURS
	EDGE OF PAVEMENT
	FLOWLINE (NON-GUTTER)
	FENCE
	HATCH
	AC PAVEMENT HATCH
	BACK OF CURB
	CENTER LINE
	GUTTER FLOW LINE
	SIDEWALK
	TOP OF SLOPE
	TOE OF SLOPE
	WALL
	BUILDING TO DEMOLISH
	BRUSH TO DEMOLISH
	EOP TO DEMOLISH
	FLOWLINE TO DEMOLISH
	FENCE TO DEMOLISH
	HATCH TO DEMOLISH
	BACK OF CURB TO DEMOLISH
	CENTER LINE TO DEMOLISH
	GUTTER FLOW LINE TO DEMOLISH
	SIDEWALK TO DEMOLISH
	TOP OF SLOPE TO DEMOLISH
	TOE OF SLOPE TO DEMOLISH
	TREE TO DEMOLISH
	DRIP LINE TO DEMOLISH
	WALL TO DEMOLISH
	GAS
	WATER
	FIRE WATER
	STORM DRAIN PIPING
	SANITARY SEWER
	ELECTRIC
	TELEPHONE
	TV/CABLE
	TRAFFIC SIGNAL
	OVER HEAD WIRES
	GAS TO DEMOLISH
	WATER TO DEMOLISH
	STORM DRAIN TO DEMOLISH
	SANITARY SEWER TO DEMOLISH
	ELECTRIC
	TELEPHONE TO DEMOLISH
	TV/CABLE TO DEMOLISH
	TRAFFIC SIGNAL TO DEMOLISH
	OVER HEAD WIRES TO DEMOLISH
<u>BOUNDARY/PROPOSED</u>	
	BOUNDARY
	ADJOINING LOT LINES
	BUILDING ENVELOPE
	PUBLIC UTILITIES EASEMENT RIGHT OF WAY
	EASEMENT EXISTING
	EASEMENT PROPOSED
	EASEMENT ABANDONED
	STORM DRAIN EASEMENT
	SEWER EASEMENT
	LOT LINE
	LOT LINE ABANDONED
	TIE CALCULATED
	RIGHT-OF-WAY
	RIGHT-OF-WAY PRIVATE
	R.O.W. CENTER LINE
	BUILDING
	CONCRETE
	EDGE OF PAVEMENT
	FENCE
	SAWCUT
	CENTER LINE
	DWY APPROACH
	CURB & GUTTER
	VERTICAL CURB
	SIDEWALK/CONCRETE
	PAVEMENT STRIPING
	WALL - RETAINING/SOUND
	ELECTRICAL
	GAS
	STORM DRAIN PIPING
	SEWER PIPING
	WATER

[P] CLEANOUT  
 [P] 2-WAY CLEANOUT  
 [P] GATE VALVE  
 [P] 6" DIAMETER MANHOLE (STORM & SEWER)  
 [P] FIRE HYDRANT  
 [P] BLOW-OFF ASSEMBLY  
 [P] WATER METER  
 [P] STREET LIGHT  
 [P] TRANSFORMER  
 UTILITY POLE  
 [P] BACKFLOW PREVENTOR  
 [P] STREET TREE WELL (SEE STREET PLAN & PROFILE)  
 [P] RETAINING WALL  
 [P] FINISH FLOOR ELEVATION  
 [P] FINISH GRADE SPOT ELEVATION  
 [P] RAINGARDEN CURB INLET, SEE DETAILS [TM36]  
 [P] STORM DRAIN INLET [CHRISTY BOX]  
 [P] STORM DRAIN INLET [12"x12" NDS]  
 [P] STORM DRAIN CONTROL RELEASE BOX [CHRISTY U21 OR 23]  
 [P] STORM DRAIN CONTROL RELEASE BOX [CHRISTY U32]  
 POTENTIAL GREASE INTERCEPTOR  
 [P] GRADE TO DRAIN

[R] ASPHALT TO BE REMOVED  
 [R] BUILDING TO BE REMOVED  
 [R] CONCRETE  
 [R] ASPHALT TO BE REMOVED & REPLACED (NOT PART OF THIS PROJECT)  
 [R] ASPHALT  
 [R] BUILDING  
 [R] CONCRETE  
 [R] BUILDING HATCH  
 [R] STEEL PLATE  
 PROPOSED ASPHALT  
 PROPOSED ASPHALT OVERLAY  
 [R] TRUNCATED DOMES  
 [R] RAIN GARDEN (SEE DETAIL SHT TM36)  
 [R] RIPRAP OUTLET  
 [R] Pervious Concrete

<b>Vesting Tentative Map</b> TRACT NO. 1561, APN 041-011-03, 2023		DRAWN DJD	
DATE 8/12/10		DESIGN DAH	
SHEET <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">TM1b</div>			
JOB NO. 07040			

**Notes, Abbreviations, Symbols, & Line Types**

## Aptos Village

Soquel Drive, Aptos, California

5204 SOQUEL AVE, SUITE 101  
JANUARY 2011

TEL (831) 424-5315  
FAX (831) 424-7143  
www.blondengineers.com

**BLOND ENGINEERS**

CIVIL ENGINEERING ■ LAND PLANNING ■ STRUCTURAL DESIGN

	APPROVED	REVISION	DATE
A	County Review Comments	4th Round	8-13-11
B	County Review Comments	5th Round	4-28-11
C	County Review Comments	6th Round	1-18-11
D	County Review Comments	7th Round	

DAVID TERNICSEN (PCE, No. 49767)

**For Plan Check Only**

DATE

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JANUARY 2011

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JANUARY 2011

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**BLOND ENGINEERS**

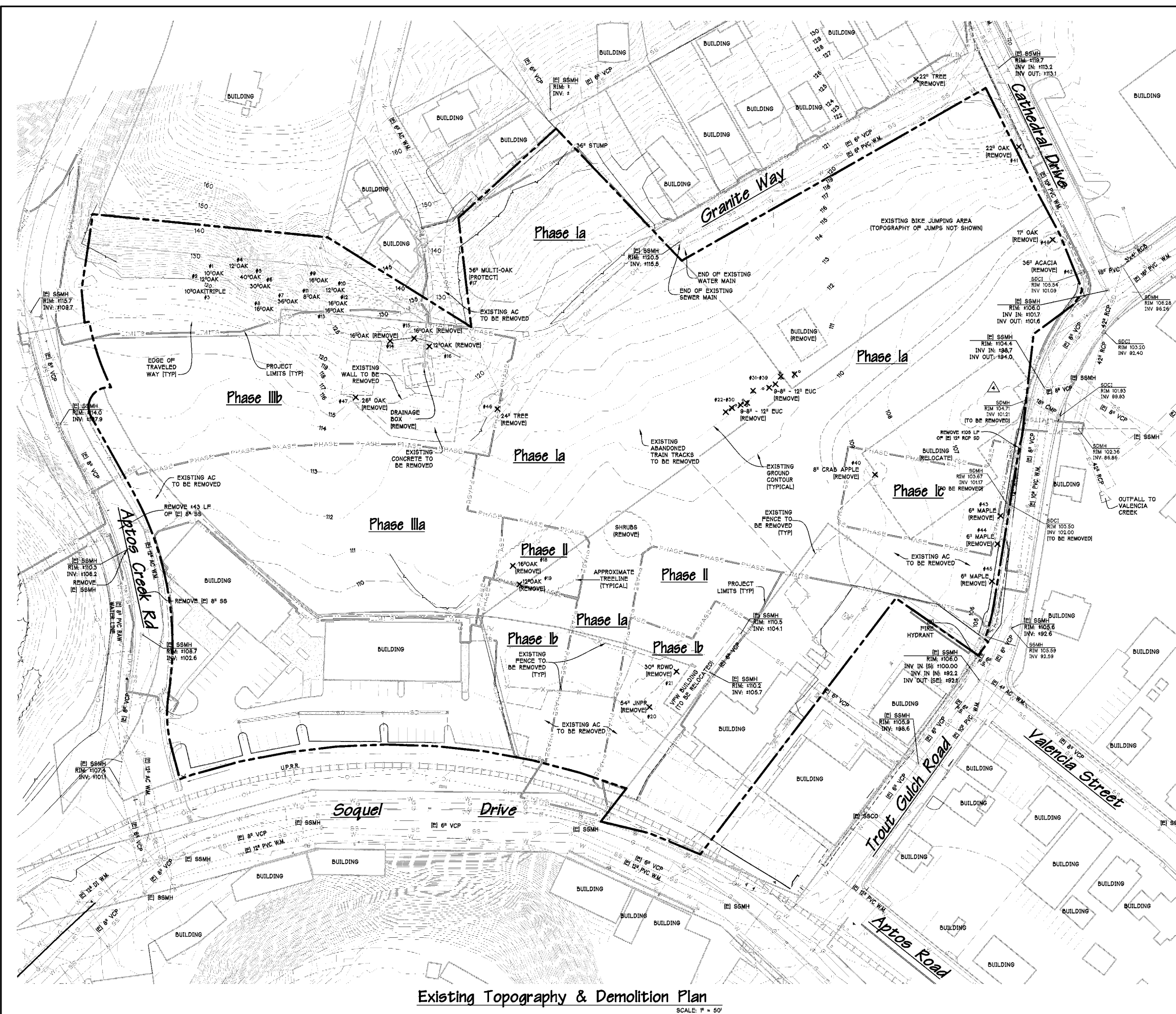
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D	County Review Comments	7th Round	

DAVID TERNICSEN (PCE, No. 49767)

**For Plan Check Only**

DATE



Existing Topography & Demolition Plan

SCALE: 1" = 50'

Notes

1. TOPOGRAPHIC INFORMATION IS A COMPILATION OF AERIAL SURVEY PROVIDED BY TOWILL, INC. IN 1991, JOB NUMBER 2528-50 AND GROUND BASED SURVEY PROVIDED BY GARY IFLAND AND ASSOCIATES (MULTIPLE DATES).
2. BOUNDARY INFORMATION PROVIDED BY GARY IFLAND AND ASSOCIATES.
3. AN ARBORIST'S REPORT IS REQUIRED FOR THE REMOVAL OF ANY TREE IN EXCESS OF 6 INCHES IN DIAMETER.
4. REFER TO SHEET TM3 FOR EXISTING PROPERTY LINE AND EASEMENT INFORMATION.
5. ALL PROPERTY LINES SHOWN ARE EXISTING.

Slope Legend

	RANGE (%)	AREA (SQ. FT.)	(%) OF PROJECT LIMITS
	0 - 30	443,050	96
	OVER 30	20,710	4
TOTAL		463,760	100

Tree Removals

NUMBER	DESCRIPTION
14	16" OAK
15	16" OAK
16	12" OAK
18	16" OAK
19	12" OAK
20	54" JUNIPER
21	30" REDWOOD
22-29	8"-12" EUCALYPTUS
40	8" CRAB APPLE
41	22" OAK
42	36" ACACIA
43-45	6" MAPLE
46	6" MAPLE
47	6" MAPLE
48	1" OAK
34	TOTAL NUMBER OF TREES TO BE REMOVED



PROFESSIONAL ENGINEER & LAND SURVEYOR  
STATE OF CALIFORNIA  
NO. 04167  
DAVID HENRICSEN

County Review Comments (4/4/17)  
City Review Comments (5/2/17)  
County Review Comments (5/2/17)  
City Review Comments (5/2/17)  
APPROVED  
DATE  
8/12/10  
DESIGN  
N/A  
DRAWN  
DJD  
DATE  
8/12/10

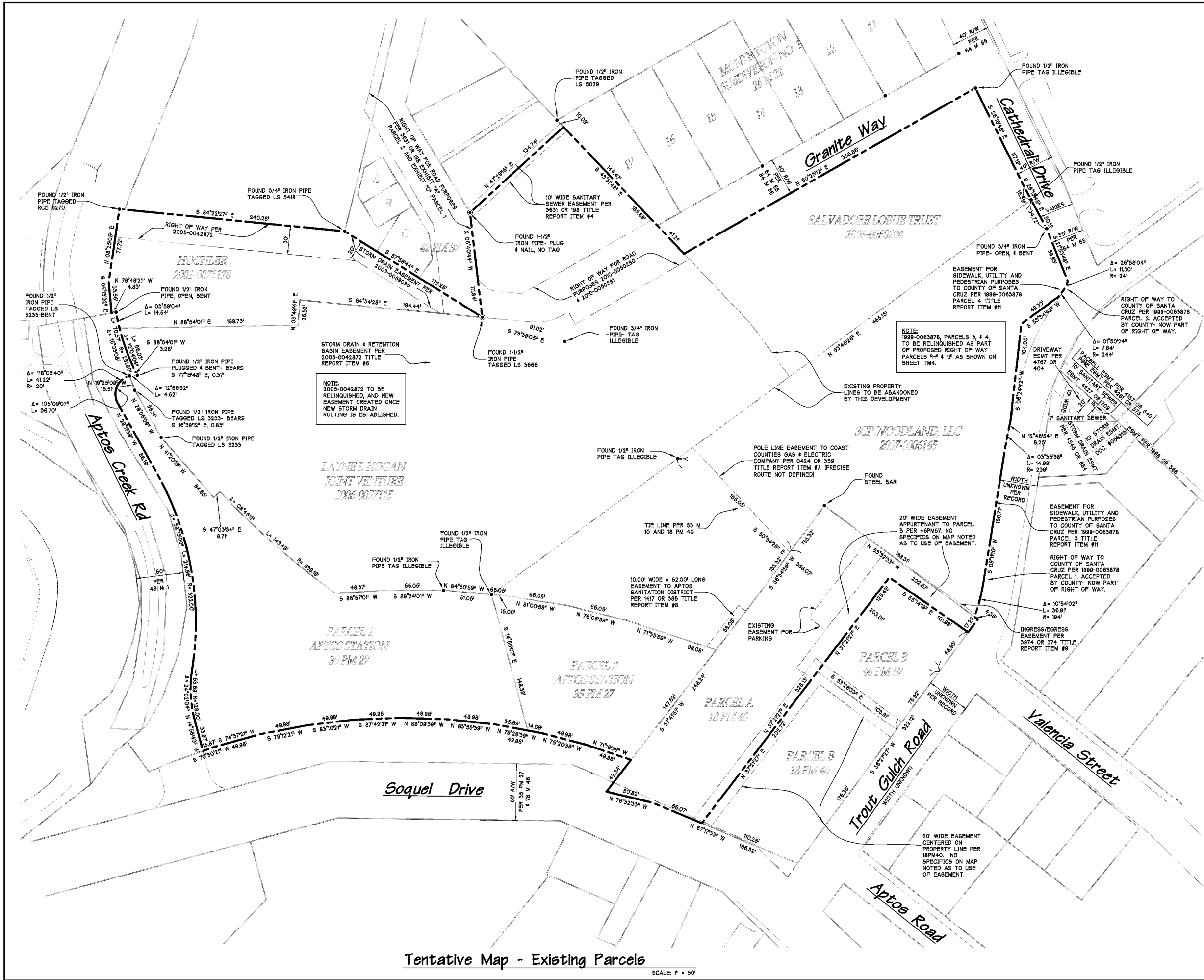
5200 SOQUEL AVE. SUITE 101  
SAN JOSE, CA 95128  
TEL (408) 424-5513  
FAX (408) 424-1743  
www.hendriksen.com  
CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN

Existing Topography & Demolition Plan  
Aptos Village  
Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APN 041-011-03-2013

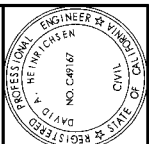
SHEET  
TM2

JOB NO. 07040



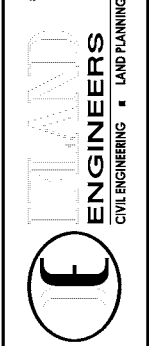
Notes

1. TOPOGRAPHIC INFORMATION IS A COMPILATION OF AERIAL SURVEY PROVIDED BY TOWILL, INC. IN 1991, JOB NUMBER 2528-50, AND GROUND BASED SURVEY PROVIDED BY GARY IFLAND AND ASSOCIATES (MULTIPLE DATES).
2. BOUNDARY INFORMATION PROVIDED BY GARY IFLAND AND ASSOCIATES.
3. EASEMENTS SHOWN HEREON WERE PREPARED BASED ON THE CURRENT STEWART TITLE GUARANTY COMPANY PRO FORMA SPECIMEN TITLE REPORT #08564326 AND RELIED ON SAID REPORT FOR EASEMENT AND PARCEL DESCRIPTIONS. IFLAND ENGINEERS, INC. IS NOT RESPONSIBLE FOR THE COMPLETENESS OF SAID REPORT.
4. THE FOLLOWING EASEMENTS HAVE NOT BEEN PLOTTED DUE TO INSUFFICIENT INFORMATION IN THE EASEMENT DESCRIPTION:
  - A. A ROAD MAINTENANCE AGREEMENT PER 3631 OR 202 TITLE REPORT ITEM #5.
  - B. A 5' STRIP OF LAND FOR ABOVE GROUND AND UNDER GROUND COMMUNICATIONS AND ELECTRICAL FACILITIES TO PACIFIC BELL CORPORATION PER 4157 OR 538 TITLE REPORT ITEM #10.



DATE	REVISION	BY	APPROVED
8/12/10	1	DAVE	MARC
8/12/10	2	DAVE	MARC
8/12/10	3	DAVE	MARC
8/12/10	4	DAVE	MARC
8/12/10	5	DAVE	MARC
8/12/10	6	DAVE	MARC
8/12/10	7	DAVE	MARC
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8/12/10	9	DAVE	MARC
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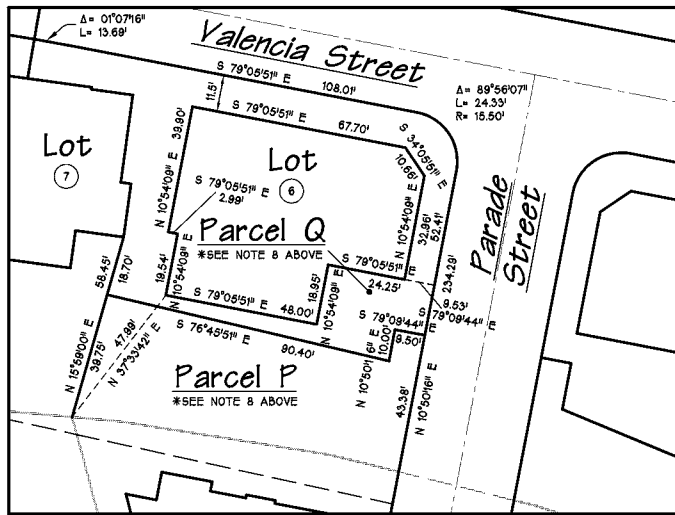
5200 SOQUEL AVE SUITE 101  
SANTA CRUZ, CA 95062  
TEL (831) 424-5313  
FAX (831) 424-1743  
www.iflandengineers.com



Tentative Map - Existing Parcels  
**Aptos Village**  
Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APR 01-01-03-2023  
DATE 8/12/10  
DESIGN DAVE  
DRAWN MARC

SHEET  
**TM3**  
JOB NO. 07040



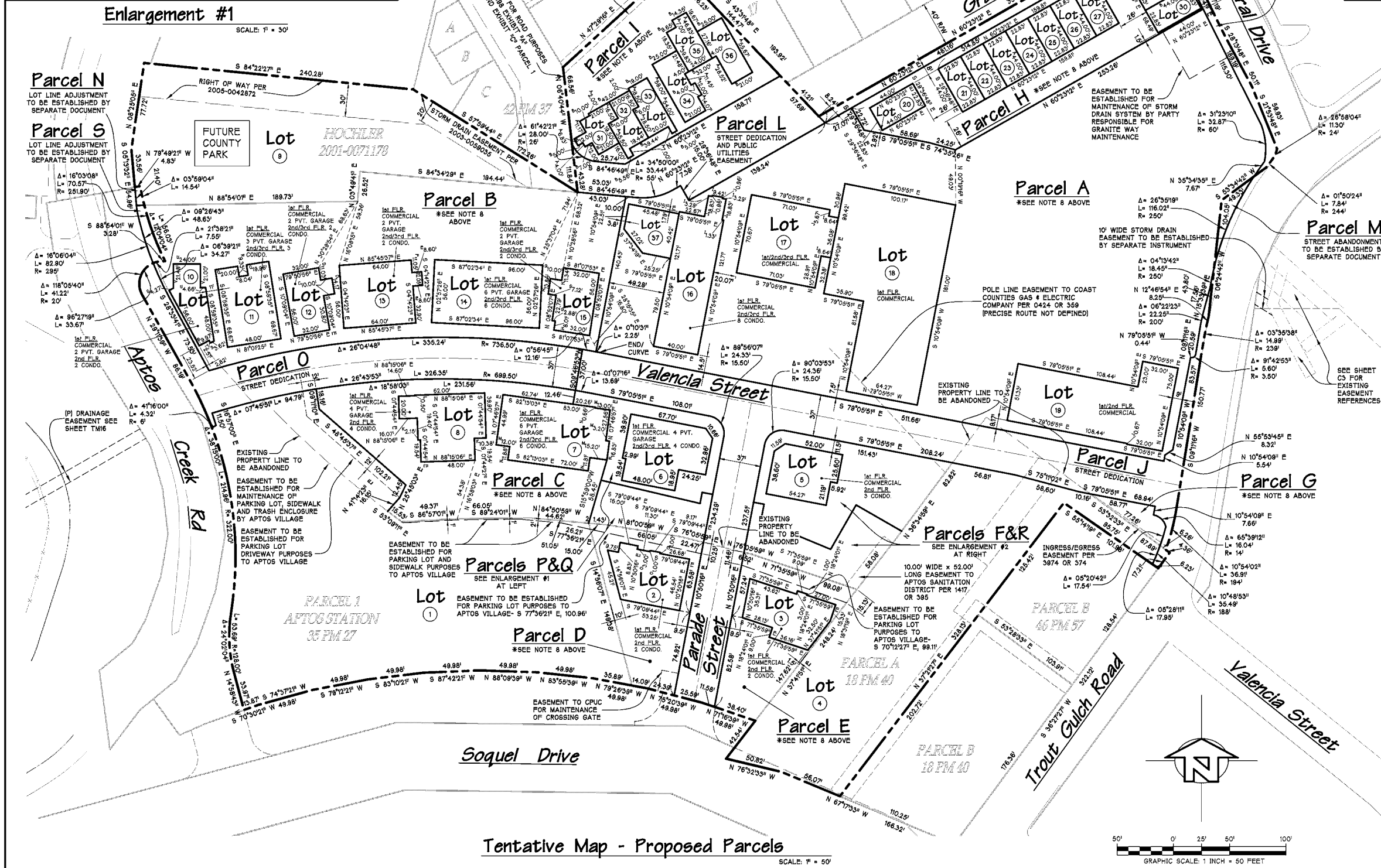
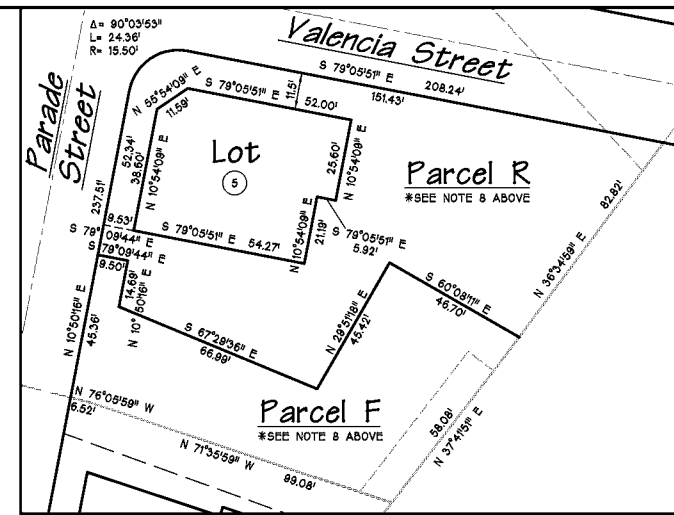
### Bearing Table

POST SCRIPT	BEARING	POST SCRIPT	BEARING	POST SCRIPT	BEARING
A	N 28°36'48" W	I	N 78°05'51" W	Q	N 87°01'25" E
B	N 60°23'12" E	J	N 10°54'08" E	R	N 08°58'35" W
C	N 78°50'56" E	K	N 88°50'56" E	S	N 61°26'19" W
D	N 10°09'04" W	L	N 01°44'54" W	T	N 28°33'34" W
E	N 85°45'03" E	M	N 82°15'03" E	U	N 90°00'00" E
F	N 04°45'23" W	N	N 07°46'57" E	V	N 00°00'00" E
G	N 87°05'51" W	O	N 10°50'16" E		
H	N 08°52'07" E	P	N 78°09'44" W		

NOTE: POST SCRIPT ON DISTANCES ON PLAN CORRESPOND TO BEARINGS SHOWN IN TABLE ABOVE.

### Notes:

1. PARCEL NET AREAS DO NOT INCLUDE REDUCTIONS FOR ANY EASEMENTS, BUT ARE NET AFTER LOT LINE ADJUSTMENTS.
2. LOT LINE BEARINGS ARE PARALLEL OR PERPENDICULAR TO MAJOR LOT BEARING NOTED ON EACH LOT, OR LOT GROUP, EXCEPT AS NOTED.
3. LOT 37 IS THE WELL SITE TO BE CONVEYED TO SOQUEL CREEK WATER DISTRICT.
4. SEE SHEET TM-5 FOR OVER ALL PHASING CONFIGURATION.
5. LOT LINE ADJUSTMENTS FOR PARCELS 19 AND 18 TO BE COMPLETED PRIOR TO RECORDING OF FINAL MAP.
6. RIGHT OF ENTRY FOR STORM DRAIN CONSTRUCTION THROUGH PARK SHALL BE IN PLACE PRIOR TO APPROVAL OF PHASE 3.
7. STORM DRAIN EASEMENT THROUGH PARK SHALL BE ACQUIRED PRIOR TO CONSTRUCTION AND THE LOCATION OF THE PROPOSED STORM DRAIN SHALL BE STAKED TO ASSURE ACCURATE CONSTRUCTION.
8. \*INDICATES COMMON AREA, PUBLIC UTILITIES EASEMENT, AND PRIVATE STORM DRAIN EASEMENT.



### Parcel Data

LOT NO.	NET LOT/PARCEL	NET ACREAGE	PHASE NO.
1	61,824 S.F.	1.42 AC.	NONE
2	2,893 S.F.	0.07 AC.	Ib
3	3,046 S.F.	0.07 AC.	Ib
4	35,223 S.F.	0.81 AC.	NONE
5	2,657 S.F.	0.06 AC.	II
6	3,926 S.F.	0.09 AC.	II
7	5,220 S.F.	0.12 AC.	IIIa
8	3,675 S.F.	0.08 AC.	IIIa
9	32,286 S.F.	0.74 AC.	NONE
10	1,680 S.F.	0.04 AC.	IIIb
11	3,269 S.F.	0.08 AC.	IIIb
12	1,833 S.F.	0.04 AC.	IIIb
13	3,688 S.F.	0.08 AC.	IIIb
14	5,376 S.F.	0.12 AC.	IIIb
15	1,986 S.F.	0.05 AC.	IIIb
16	5,179 S.F.	0.12 AC.	II
17	5,351 S.F.	0.12 AC.	Ia
18	15,202 S.F.	0.35 AC.	Ia
19	7,967 S.F.	0.18 AC.	Ia
20	1,005 S.F.	0.02 AC.	Ia
21	1,005 S.F.	0.02 AC.	Ia
22	1,005 S.F.	0.02 AC.	Ia
23	1,005 S.F.	0.02 AC.	Ia
24	1,005 S.F.	0.02 AC.	Ia
25	1,005 S.F.	0.02 AC.	Ia
26	1,005 S.F.	0.02 AC.	Ia
27	1,005 S.F.	0.02 AC.	Ia
28	1,005 S.F.	0.02 AC.	Ia
29	1,005 S.F.	0.02 AC.	Ia
30	1,005 S.F.	0.02 AC.	Ia
31	1,011 S.F.	0.02 AC.	Ia
32	1,088 S.F.	0.03 AC.	Ia
33	1,089 S.F.	0.03 AC.	Ia
34	1,572 S.F.	0.03 AC.	Ia
35	1,057 S.F.	0.02 AC.	Ia
36	1,278 S.F.	0.03 AC.	Ia
37	1,657 S.F.	0.04 AC.	Ia
PARCEL A	103,788 S.F.	2.38 AC.	Ia
PARCEL B	36,870 S.F.	0.85 AC.	IIIb
PARCEL C	16,605 S.F.	0.38 AC.	IIIa
PARCEL D	6,811 S.F.	0.16 AC.	Ia
PARCEL E	6,881 S.F.	0.16 AC.	Ia
PARCEL F	5,108 S.F.	0.12 AC.	Ia
PARCEL G	1,082 S.F.	0.02 AC.	Ia
PARCEL H	11,908 S.F.	0.27 AC.	Ia
PARCEL I	12,146 S.F.	0.28 AC.	Ia
PARCEL J	3,662 S.F.	0.08 AC.	Ib
PARCEL K	4,031 S.F.	0.09 AC.	II
PARCEL L	8,691 S.F.	0.20 AC.	Ib
DEDICATION	CO. STREET AREA S.F.	CO. STREET AC	
J	31,829 S.F.	0.73 AC.	Ia
K	4,483 S.F.	0.10 AC.	Ia
L	10,302 S.F.	0.24 AC.	Ia
O	14,752 S.F.	0.34 AC.	IIIa
ABANDON	ABANDONMENT S.F.	ABANDONMENT AC.	
M	555 S.F.	0.01 AC.	Ia
LL ADJUST	LL ADJUSTMENT S.F.	LL ADJUSTMENT AC.	
N	98 S.F.	0.00 AC.	IIIb
S	461 S.F.	0.01 AC.	IIIb
PROP. EXIST	500,052 S.F.	11.48 AC.	
TOTAL	501,166 S.F.	11.51 AC.	

DATE: 8/12/10

DESIGN: DAVE

DRAWN: MARC

**Vesting Tentative Map**

TRACT NO. 1561, APN 041-011-03-2023

DATE: 8/12/10

DESIGN: DAVE

DRAWN: MARC

**Tentative Map - Proposed Parcels**

**Aptos Village**

Soquel Drive, Aptos, California

DATE: 8/12/10

DESIGN: DAVE

DRAWN: MARC

**For Plan Check Only**

DAVID HENRICHSEN (P.E. NO. 49107)

DATE: 8/12/10

DESIGN: DAVE

DRAWN: MARC

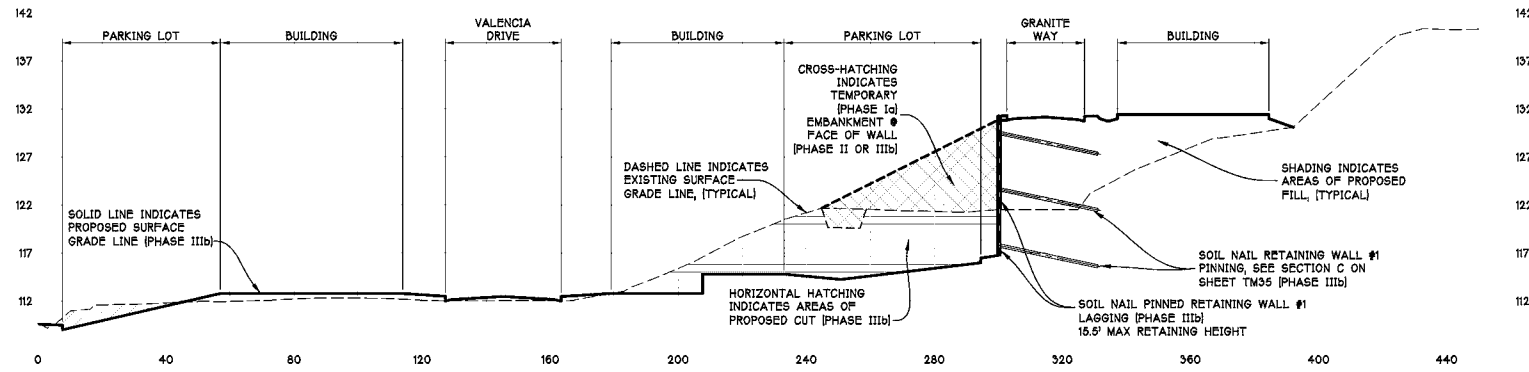
**TM4**

JOB NO. 07040

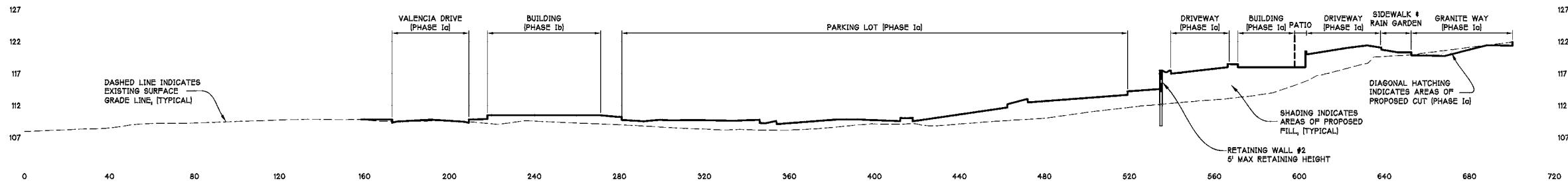




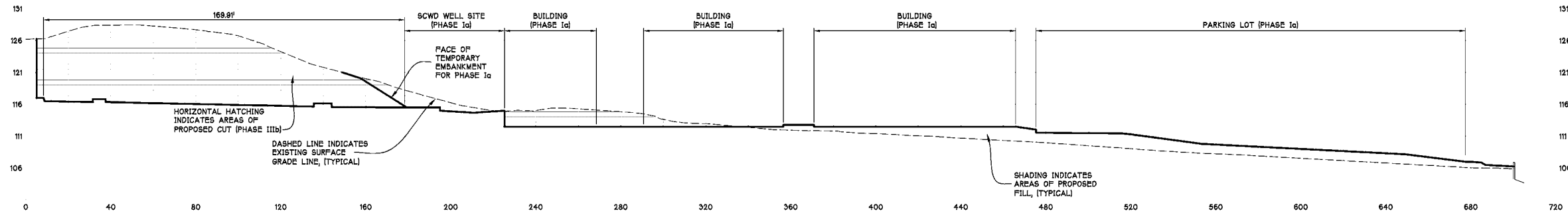




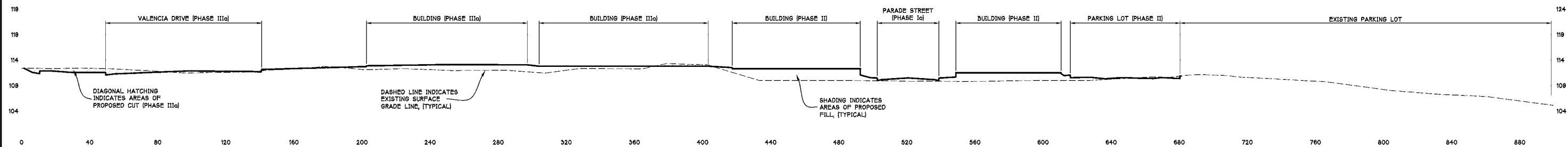
Section A



Section B



Section C

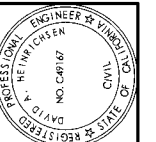


Section D

## Preliminary Mass Grading Sections

SCALE: 1" = 30' [H] / 1" = 10' [V]

NOTE:  
REFER TO SHEET TM6 FOR THE  
LOCATIONS OF GRADING SECTIONS



DATE	REVISION	BY	APPROVED
6-15-11	Comments (4th Review)	DAH	
7-1-11	Comments (5th Review)	DAH	
7-1-11	Comments (6th Review)	DAH	
7-1-11	Comments (7th Review)	DAH	
7-1-11	Comments (8th Review)	DAH	
7-1-11	Comments (9th Review)	DAH	
7-1-11	Comments (10th Review)	DAH	
7-1-11	Comments (11th Review)	DAH	
7-1-11	Comments (12th Review)	DAH	
7-1-11	Comments (13th Review)	DAH	
7-1-11	Comments (14th Review)	DAH	
7-1-11	Comments (15th Review)	DAH	
7-1-11	Comments (16th Review)	DAH	
7-1-11	Comments (17th Review)	DAH	
7-1-11	Comments (18th Review)	DAH	
7-1-11	Comments (19th Review)	DAH	
7-1-11	Comments (20th Review)	DAH	

For Plan Check Only  
DATE

5200 SOQUEL AVE, SUITE 101  
SAN JUAN, CA 95062  
TEL: (831) 424-5313  
FAX: (831) 424-1743  
www.handengineers.com

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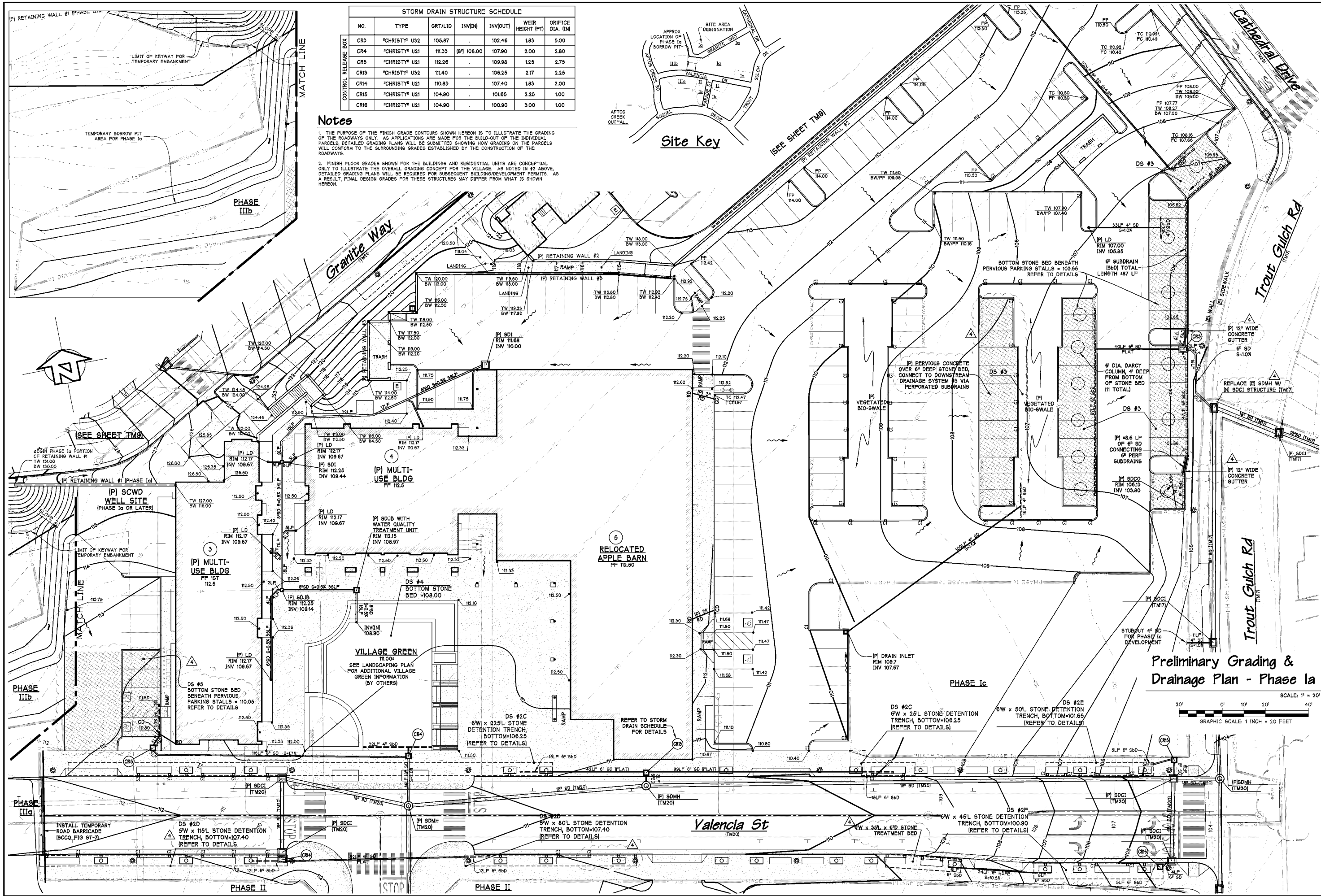
Preliminary Mass Grading Sections  
**Aptos Village**  
Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APR 04-01-03-2023  
DATE 8/12/10  
DESIGN DAH  
DRAWN DJD

SHEET  
**TM7**

JOB NO. 07040





STORM DRAIN STRUCTURE SCHEDULE						
NO.	TYPE	GR/LID	IN(VIN)	IN(OUT)	WEIR HEIGHT (FT)	ORIFICE DIA. (IN)
CR3	*CHRISTY* U32	105.87		102.46	1.83	5.00
CR4	*CHRISTY* U21	111.33	108.00	107.90	2.00	2.80
CR5	*CHRISTY* U21	112.26		109.98	1.25	2.75
CR13	*CHRISTY* U32	111.40		106.25	2.17	2.25
CR14	*CHRISTY* U21	110.83		107.40	1.83	2.00
CR15	*CHRISTY* U21	104.80		101.65	2.25	1.00
CR16	*CHRISTY* U21	104.80		100.90	3.00	1.00

**Notes**

1. THE PURPOSE OF THE FINISH GRADE CONTOURS SHOWN HEREON IS TO ILLUSTRATE THE GRADING OF THE ROADWAYS ONLY. AS APPLICATIONS ARE MADE FOR THE BUILD-OUT OF THE INDIVIDUAL PARCELS, DETAILED GRADING PLANS WILL BE SUBMITTED SHOWING HOW GRADING ON THE PARCELS WILL CONFORM TO THE SURROUNDING GRADES ESTABLISHED BY THE CONSTRUCTION OF THE ROADWAYS.

2. FINISH FLOOR GRADES SHOWN FOR THE BUILDINGS AND RESIDENTIAL UNITS ARE CONCEPTUAL ONLY TO ILLUSTRATE THE OVERALL GRADING CONCEPT FOR THE VILLAGE. AS NOTED IN #2 ABOVE, DETAILED GRADING PLANS WILL BE REQUIRED FOR SUBSEQUENT BUILDING/DEVELOPMENT PERMITS. AS A RESULT, FINAL DESIGN GRADES FOR THESE STRUCTURES MAY DIFFER FROM WHAT IS SHOWN HEREON.

PROFESSIONAL ENGINEER & LANDSCAPE ARCHITECT  
NO. 004107  
DATE: 8/12/10  
BY: DAH  
REVISION: 1-18-11  
COUNTY REVIEW COMMENTS: 8/12/10  
COUNTY REVIEW DATE: 8/12/10  
COUNTY REVIEW BY: DAH

APPROVED  
DAVID HENRICSEN (RCE NO. 49107)

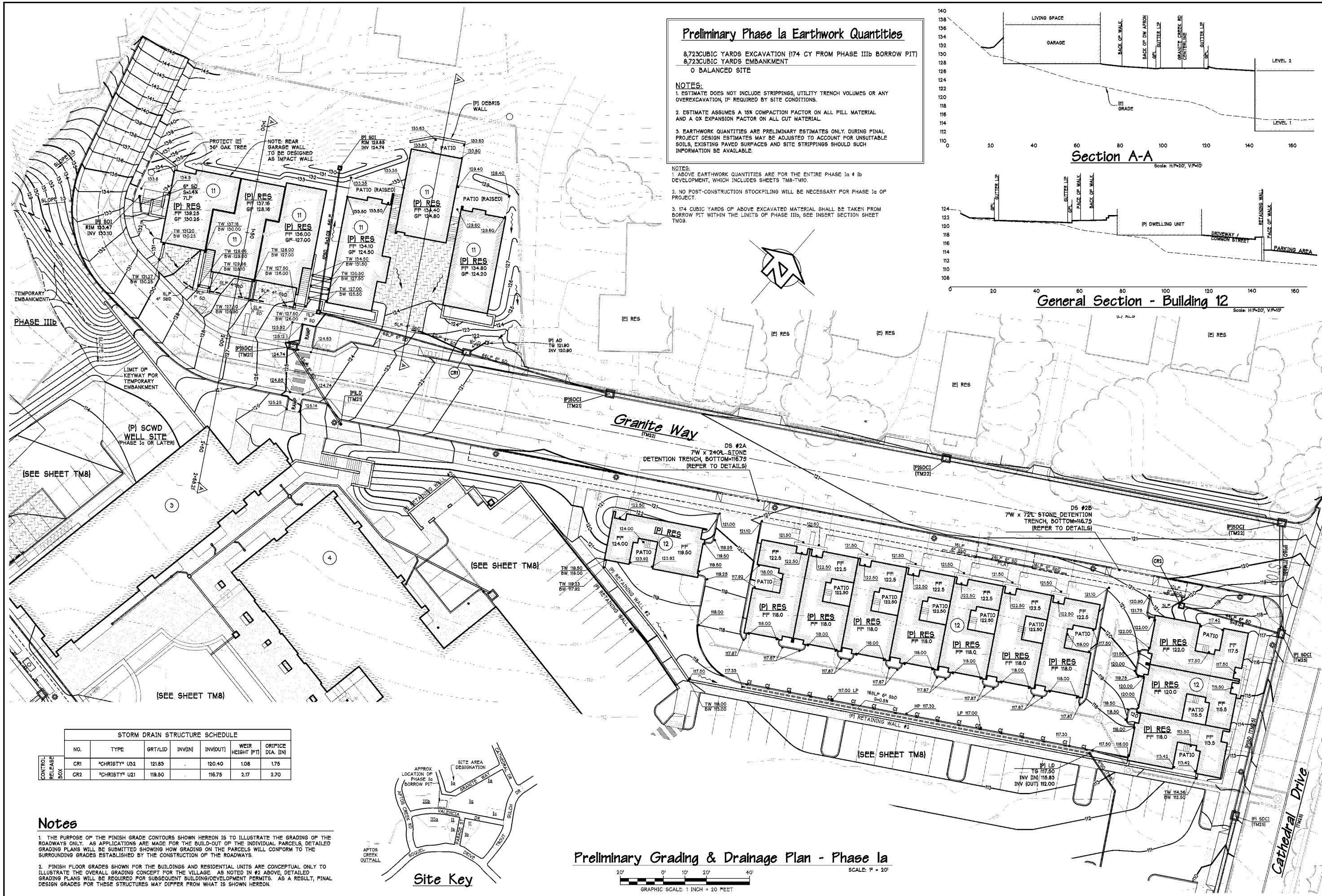
5200 SOQUEL AVE SUITE 101  
SAN JOSE, CA 95133  
TEL: (408) 424-5313  
FAX: (408) 424-1743  
www.hendriksen.com

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Preliminary Grading & Drainage Plan - Phase Ia  
Aptos Village  
Soquel Drive, Aptos, California

DATE: 8/12/10  
DESIGN: DAH  
DRAWN: D.D.  
SHEET: TM8  
JOB NO.: 07040





**Professional Engineer & Land Planner**  
DAVID HENRICSEN (P.E., P.L.P.)  
NO. C49167  
DATE: 8/12/10  
APPROVED: [Signature]  
FOR PLAN CHECK ONLY

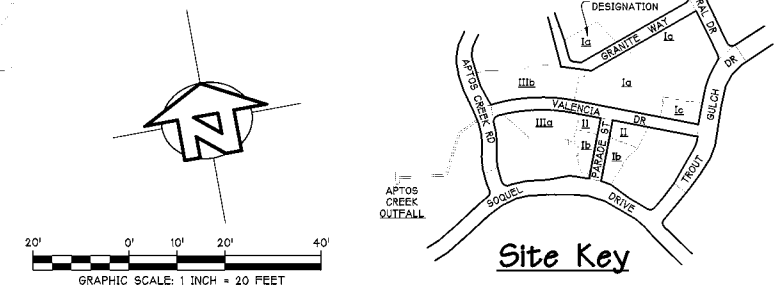
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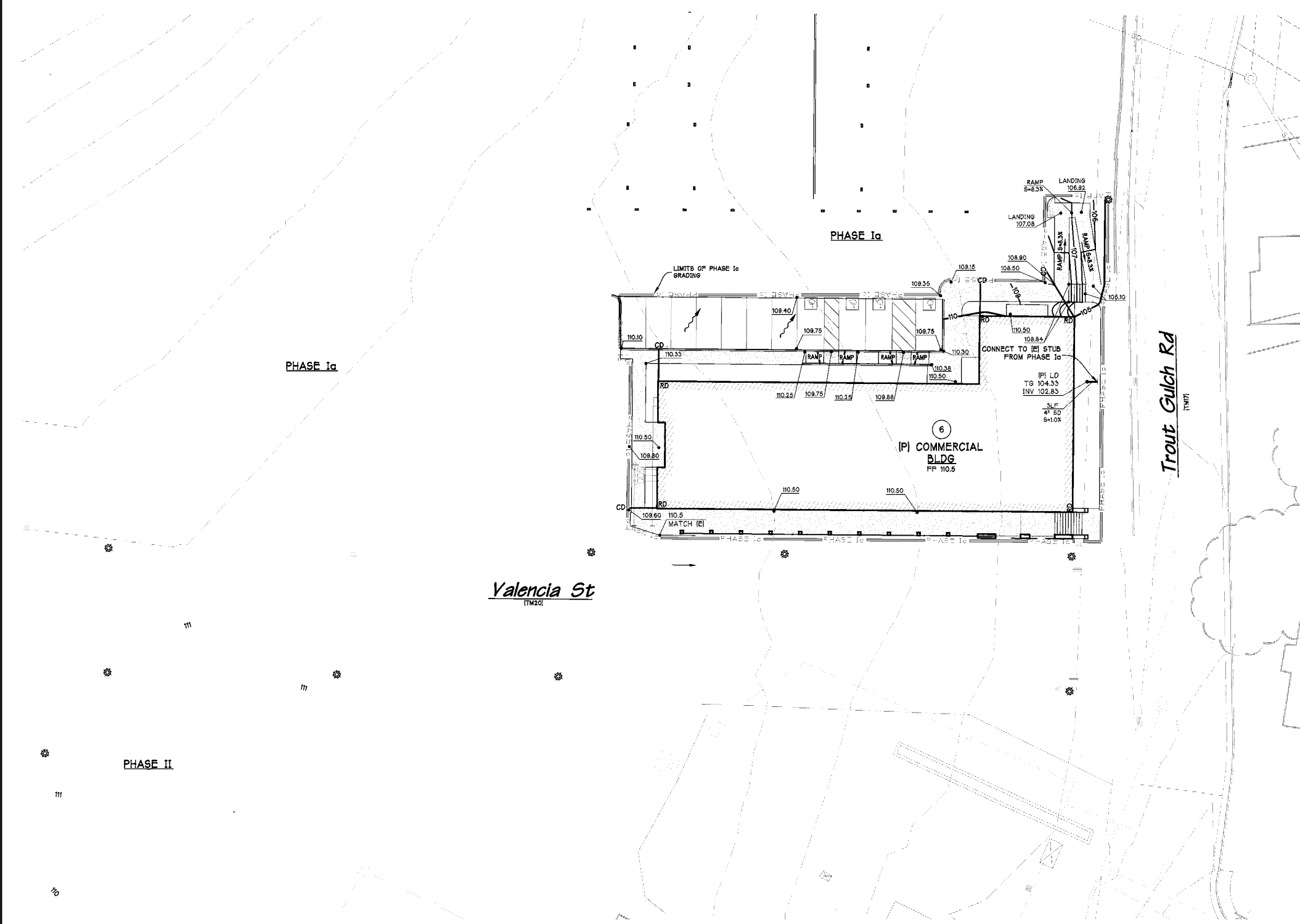
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**Preliminary Grading & Drainage Plan - Phase Ia**  
**Aptos Village**  
Soquel Drive, Aptos, California

**Vesting Tentative Map**  
TRACT NO. 1561, API 041-011-03-2023

**DATE** 8/12/10  
**DESIGN** DAH  
**DRAWN** D.D.  
**SHEET** TM9  
**JOB NO.** 07040





Preliminary Grading & Drainage Plan - Phase Ic  
SCALE: 1" = 20'

### Notes

1. THE PURPOSE OF THE FINISH GRADE CONTOURS SHOWN HEREON IS TO ILLUSTRATE THE GRADING OF THE ROADWAYS ONLY. AS APPLICATIONS ARE MADE FOR THE BUILD-OUT OF THE INDIVIDUAL PARCELS, DETAILED GRADING PLANS WILL BE SUBMITTED SHOWING HOW GRADING ON THE PARCELS WILL CONFORM TO THE SURROUNDING GRADES ESTABLISHED BY THE CONSTRUCTION OF THE ROADWAYS.
2. FINISH FLOOR GRADES SHOWN FOR THE BUILDINGS AND RESIDENTIAL UNITS ARE CONCEPTUAL ONLY TO ILLUSTRATE THE OVERALL GRADING CONCEPT FOR THE VILLAGE. AS NOTED IN #2 ABOVE, DETAILED GRADING PLANS WILL BE REQUIRED FOR SUBSEQUENT BUILDING/DEVELOPMENT PERMITS. AS A RESULT, FINAL DESIGN GRADES FOR THESE STRUCTURES MAY DIFFER FROM WHAT IS SHOWN HEREON.

### Preliminary Phase Ic Earthwork Quantities

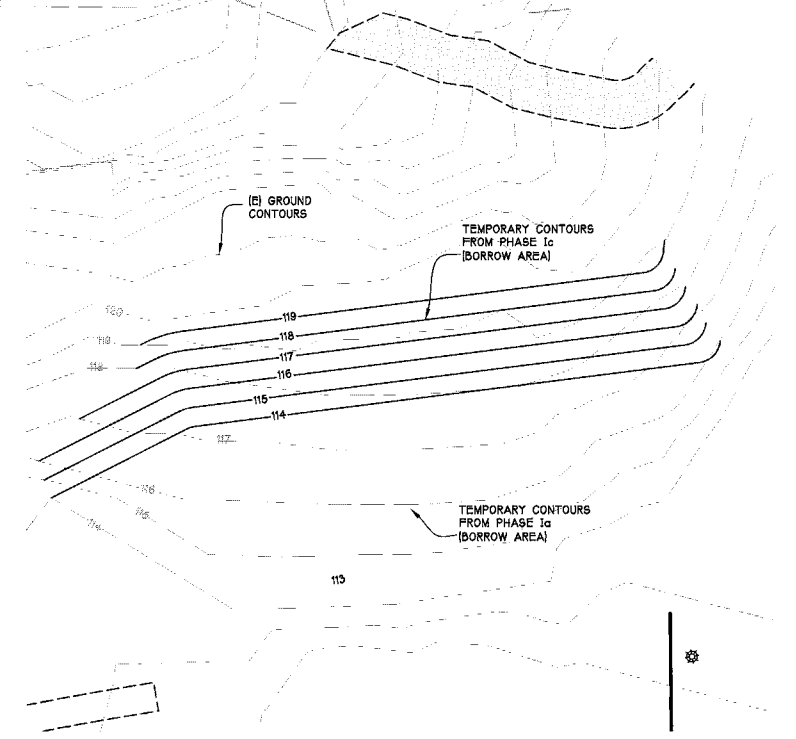
496 CUBIC YARDS EXCAVATION (321 CY FROM PHASE IIId BORROW PIT)  
496 CUBIC YARDS EMBANKMENT  
0 BALANCED SITE

#### NOTES:

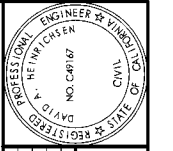
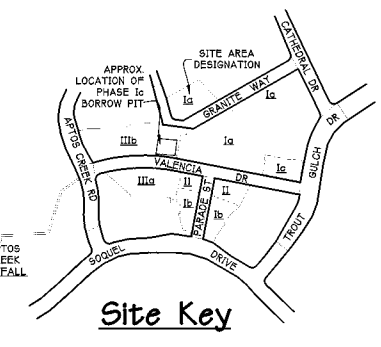
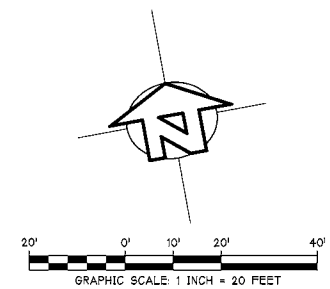
1. ESTIMATE DOES NOT INCLUDE STRIPPINGS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. EARTHWORK QUANTITIES ARE PRELIMINARY ESTIMATES ONLY. DURING FINAL PROJECT DESIGN ESTIMATES MAY BE ADJUSTED TO ACCOUNT FOR UNSUITABLE SOILS, EXISTING PAVED SURFACES AND SITE STRIPPINGS SHOULD SUCH INFORMATION BE AVAILABLE.

#### NOTES:

1. NO POST-CONSTRUCTION STOCKPILING WILL BE NECESSARY FOR PHASE Ib OF PROJECT.
2. 321 CUBIC YARDS OF ABOVE EXCAVATED MATERIAL SHALL BE TAKEN FROM BORROW PIT WITHIN THE LIMITS OF PHASE IIId, SEE INSERT SECTION BELOW.

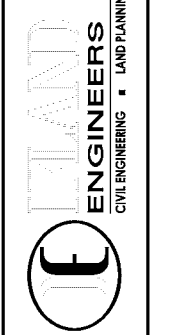


Borrow Pit Area Phase Ic  
Scale: 1" = 20'



DATE	REVISION	BY	APPROVED
6-15-11	1	DAH	DAH
8-12-10	2	DAH	DAH

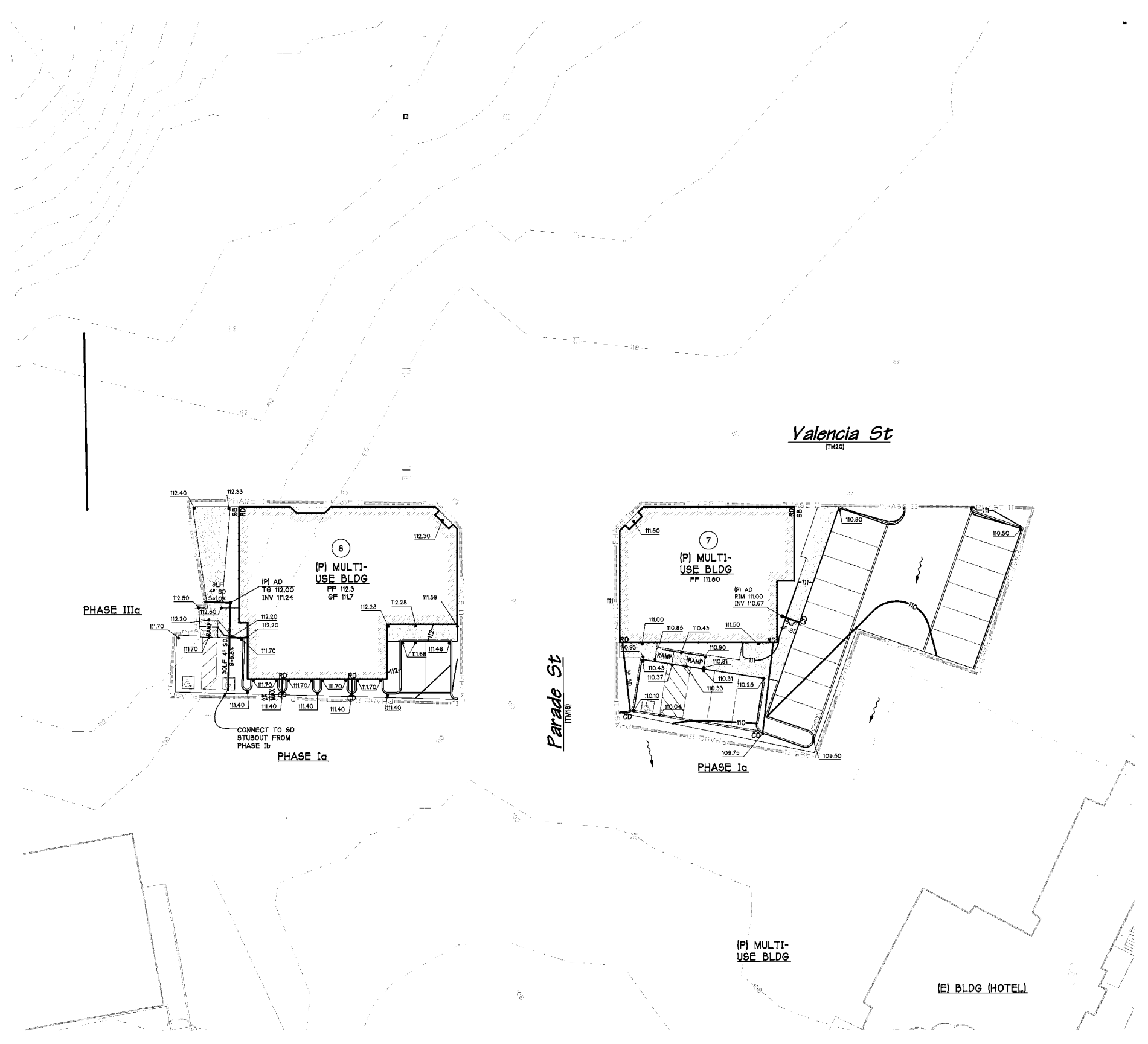
5200 SOQUEL AVE SUITE 101  
SAN JOSE, CA 95128  
TEL (408) 424-5313  
FAX (408) 424-1743  
www.hendriksen.com



Preliminary Grading & Drainage Plan - Phase Ic  
**Aptos Village**  
Soquel Drive, Aptos, California

DATE	DESIGN	DRAWN
8/12/10	DAH	DJD

SHEET  
**TM11**  
JOB NO. 07040



Preliminary Grading & Drainage Plan - Phase II  
SCALE: 1" = 20'

Notes

1. THE PURPOSE OF THE FINISH GRADE CONTOURS SHOWN HEREON IS TO ILLUSTRATE THE GRADINGS OF THE ROADWAYS ONLY. AS APPLICATIONS ARE MADE FOR THE BUILD-OUT OF THE INDIVIDUAL PARCELS, DETAILED GRADING PLANS WILL BE SUBMITTED SHOWING HOW GRADINGS ON THE PARCELS WILL CONFORM TO THE SURROUNDING GRADES ESTABLISHED BY THE CONSTRUCTION OF THE ROADWAYS.
2. FINISH FLOOR GRADES SHOWN FOR THE BUILDINGS AND RESIDENTIAL UNITS ARE CONCEPTUAL ONLY TO ILLUSTRATE THE OVERALL GRADING CONCEPT FOR THE VILLAGE. AS NOTED IN #2 ABOVE, DETAILED GRADING PLANS WILL BE REQUIRED FOR SUBSEQUENT BUILDING/DEVELOPMENT PERMITS. AS A RESULT, FINAL DESIGN GRADES FOR THESE STRUCTURES MAY DIFFER FROM WHAT IS SHOWN HEREON.

Preliminary Phase II Earthwork Quantities

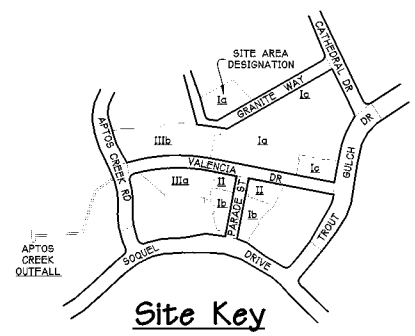
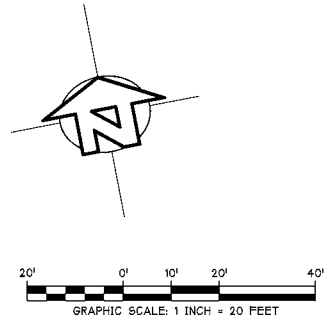
518 CUBIC YARDS EXCAVATION  
6 CUBIC YARDS EMBANKMENT  
512 CUBIC YARDS EXPORT

NOTES:

1. ESTIMATE DOES NOT INCLUDE STRIPPINGS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. EARTHWORK QUANTITIES ARE PRELIMINARY ESTIMATES ONLY. DURING FINAL PROJECT DESIGN ESTIMATES MAY BE ADJUSTED TO ACCOUNT FOR UNSUITABLE SOILS, EXISTING PAVED SURFACES AND SITE STRIPPINGS SHOULD SUCH INFORMATION BE AVAILABLE.

NOTES:

1. EXCESS MATERIAL SHALL BE TAKEN OFF-SITE TO AN APPROVED DISPOSAL SITE.



PROFESSIONAL ENGINEER & LAND SURVEYOR  
DAVID HENRICSEN  
NO. C49167  
STATE OF CALIFORNIA

4-27-11  
COUNTY REVIEW COMMENTS (3rd Round)  
10-15-10  
DATE

4-27-11  
COUNTY REVIEW COMMENTS (2nd Round)  
10-15-10  
DATE

4-27-11  
COUNTY REVIEW COMMENTS (1st Round)  
10-15-10  
DATE

4-27-11  
COUNTY REVIEW COMMENTS (1st Round)  
10-15-10  
DATE

APPROVED  
BY  
DAVID HENRICSEN (P.E.)

REVISION  
NO.  
1

DATE  
10-15-10

For Plan Check Only

5200 SOQUEL AVE SUITE 101  
SAN JOSE, CA 95131  
TEL (408) 424-5313  
FAX (408) 424-1743  
www.hendriksengr.com

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Preliminary Grading & Drainage Plan - Phase II

Aptos Village

Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APN 041-011-03-2023

DATE  
8/12/10

DESIGN  
DAH

DRAWN  
DJD

SHEET  
TM12

JOB NO. 07040



CONTROL RELEASE BOX	STORM DRAIN STRUCTURE SCHEDULE					
	NO.	TYPE	GRT/LID	IN(IN)	IN(OUT)	WEIR HEIGHT (FT)
	CR7	"CHRISTY" U23	110.20		107.33	1.25
	CR11	"CHRISTY" U32	111.66		108.32	1.85
	CR12	"CHRISTY" U32	111.50	(6") 106.12	108.00	2.08
						ORIFICE DIA. (IN)
						3.50
						2.00
						1.30

### Notes

- THE PURPOSE OF THE FINISH GRADE CONTOURS SHOWN HEREON IS TO ILLUSTRATE THE GRADING OF THE ROADWAYS ONLY. AS APPLICATIONS ARE MADE FOR THE BUILD-OUT OF THE INDIVIDUAL PARCELS, DETAILED GRADING PLANS WILL BE SUBMITTED SHOWING HOW GRADING ON THE PARCELS WILL CONFORM TO THE SURROUNDING GRADES ESTABLISHED BY THE CONSTRUCTION OF THE ROADWAYS.
- FINISH FLOOR GRADES SHOWN FOR THE BUILDINGS AND RESIDENTIAL UNITS ARE CONCEPTUAL ONLY TO ILLUSTRATE THE OVERALL GRADING CONCEPT FOR THE VILLAGE. AS NOTED IN #2 ABOVE, DETAILED GRADING PLANS WILL BE REQUIRED FOR SUBSEQUENT BUILDING/DEVELOPMENT PERMITS. AS A RESULT, FINAL DESIGN GRADES FOR THESE STRUCTURES MAY DIFFER FROM WHAT IS SHOWN HEREON.

### NOTES

- WEST VALENCIA STREET PHASING NOTES:**  
THE WEST VALENCIA STREET (BETWEEN STATION 4+64 AND APTOS CREEK ROAD) SHALL BE CONSTRUCTED AS PART OF THE PHASE I DEVELOPMENT. THE IMPROVEMENTS INCLUDE THE FULL PAVEMENT SECTION FROM BACK OF CURB TO BACK OF CURB, PER DETAIL ON SHEET TM18. ALL UTILITY INFRASTRUCTURE BELOW THE ROADWAY SHALL ALSO BE BUILT, INCLUDING THE STORM, SEWER AND WATER APPURTENANCES, AND LATERALS & STUBS FOR FUTURE BUILDING CONNECTIONS.  
FOR PEDESTRIAN ACCESS, A TEMPORARY 4' WIDE ASPHALT WALK WILL BE PROVIDED ON THE SOUTH SIDE OF VALENCIA, OFFSET 6' FROM THE BACK OF CURB. TEMPORARY CURB RAMPS WILL BE PROVIDED AT ALL INTERSECTIONS.
- IMPROVEMENTS TO ENSURE PROPER STORM WATER MITIGATION INCLUDE:**  
-2 TEMPORARY VEGETATED SWALES (NORTH & SOUTH LOCATED ADJACENT TO THE BACK OF CURB).  
-6 DARCY COLUMNS ALONG THE SOUTHERN CURBLINE OF VALENCIA STREET, AS SHOWN ON SHEETS TM13 & TM18.  
-AN ADDITIONAL 2 DARCY COLUMNS TO MITIGATE TEMPORARY RUNOFF FROM THE NORTHERN SECTION OF VALENCIA STREET, CONNECTED VIA PIPE TO THE NORTHERN SWALE. (3 PVC PIPES TOTAL).  
-2-4" PVC THRU CURB DRAINS INSTALLED AT THE SOUTHWEST CORNER OF VALENCIA STREET LOCATED APPROXIMATELY 25 FEET SOUTH FROM THE CURB RETURN. THE 4" PIPES WILL CONVEY OVERFLOW RUNOFF FROM THE LOW POINT OF THE SOUTHERN SWALE TO A SAFE POINT OF DISCHARGE AT THE FACE OF CURB IN APTOS CREEK ROAD.
- APTOS CREEK ROAD:**  
ALL IMPROVEMENTS WITHIN APTOS CREEK ROAD SHALL BE INSTALLED AND CONSTRUCTED BY THE COUNTY OF SANTA CRUZ AS PART OF THIS PROJECT.

### Preliminary Phase IIIa Earthwork Quantities

1,429 CUBIC YARDS EXCAVATION  
69 CUBIC YARDS EMBANKMENT  
1,360 CUBIC YARDS EXPORT

#### NOTES:

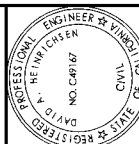
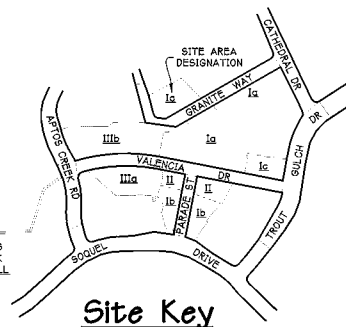
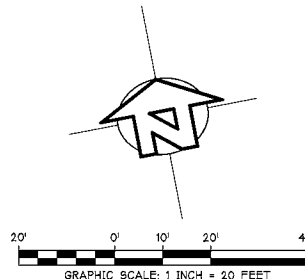
- ESTIMATE DOES NOT INCLUDE STRIPPINGS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
- ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
- EARTHWORK QUANTITIES ARE PRELIMINARY ESTIMATES ONLY. DURING FINAL PROJECT DESIGN ESTIMATES MAY BE ADJUSTED TO ACCOUNT FOR UNSUITABLE SOILS, EXISTING PAVED SURFACES AND SITE STRIPPINGS SHOULD SUCH INFORMATION BE AVAILABLE.

- NOTES:  
1. EXCESS MATERIAL SHALL BE TAKEN OFF-SITE TO AN APPROVED DISPOSAL SITE.

SEE APTOS CREEK OUTFALL FOR CONTINUATION (TM16)

### Preliminary Grading & Drainage Plan - Phase IIIa

SCALE: 1" = 20'



DATE	REVISION	BY	APPROVED
8-31-11	Review		
6-15-11	Review		
4-28-11	Review		
1-18-11	Review		

For Plan Check Only

Notes

- TOPOGRAPHIC INFORMATION TAKEN FROM AERIAL SURVEY PROVIDED BY TOWILL, INC. IN 1991, JOB NUMBER 2528-50, SUPPLEMENTED BY NUMEROUS GROUND SURVEYS PERFORMED BY GARY IFLAND AND ASSOCIATES.
- SITE PLAN PROVIDED BY THACHER AND THOMPSON, ARCHITECTS ON JULY 2, 2007.
- THE PURPOSE OF THE FINISH GRADE CONTOURS SHOWN HEREON IS TO ILLUSTRATE THE GRADING OF THE ROADWAYS ONLY. AS APPLICATIONS ARE MADE FOR THE BUILD-OUT OF THE INDIVIDUAL PARCELS, DETAILED GRADING PLANS WILL BE SUBMITTED SHOWING HOW GRADING ON THE PARCELS WILL CONFORM TO THE SURROUNDING GRADES ESTABLISHED BY THE CONSTRUCTION OF THE ROADWAYS.
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STORM DRAIN STRUCTURE SCHEDULE					
NO.	TYPE	GRT/LID	IN(VIN)	INV(OUT)	ORIFICE DIA. (IN)
CRI0	CHRISTY® U32	113.09		110.59	2.00
					2.70

Preliminary Phase IIIb Earthwork Quantities

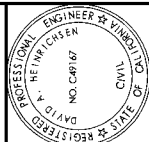
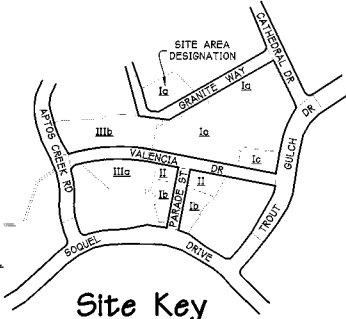
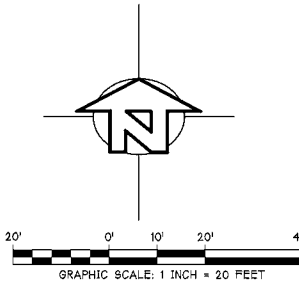
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15 CUBIC YARDS EMBANKMENT  
6,100 CUBIC YARDS EXPORT

NOTES:

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- ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
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NOTES:

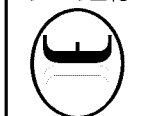
- EXCESS MATERIAL SHALL BE TAKEN OFF-SITE TO AN APPROVED DISPOSAL SITE.



DATE	REVISION	BY	APPROVED
4-27-11	1	DAH	DAH
10-15-10	2	DAH	DAH
10-15-10	3	DAH	DAH

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SAN JOSE, CA 95133  
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FAX (408) 424-1743  
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Preliminary Grading & Drainage Plan - Phase IIIb  
**Aptos Village**  
Soquel Drive, Aptos, California

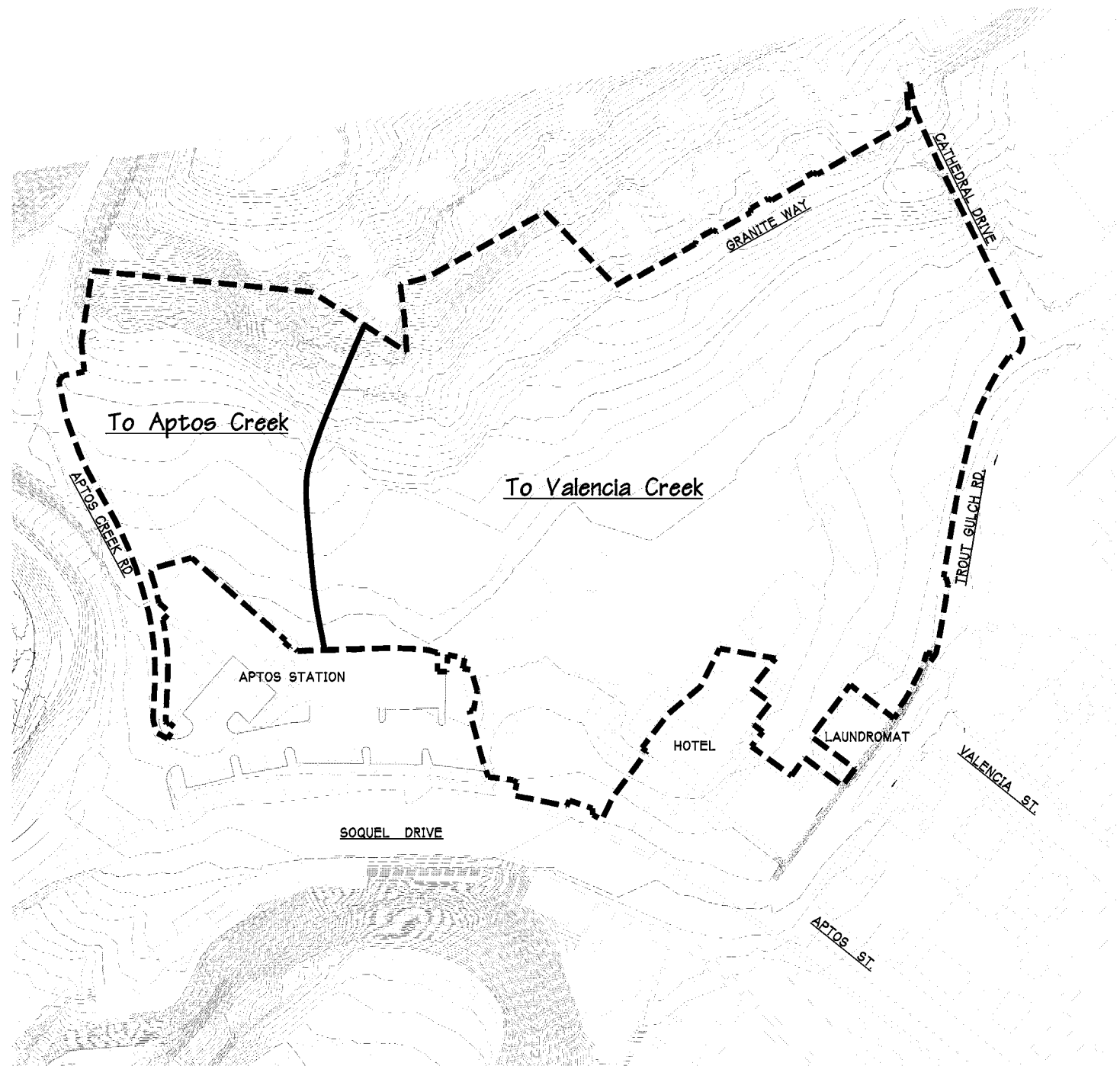
DATE	DESIGN	DRAWN
8/12/10	DAH	DJD

SHEET  
**TM14**

JOB NO. 07040

Preliminary Grading & Drainage Plan - Phase IIIb

SCALE: 1" = 20'



Pre-Construction

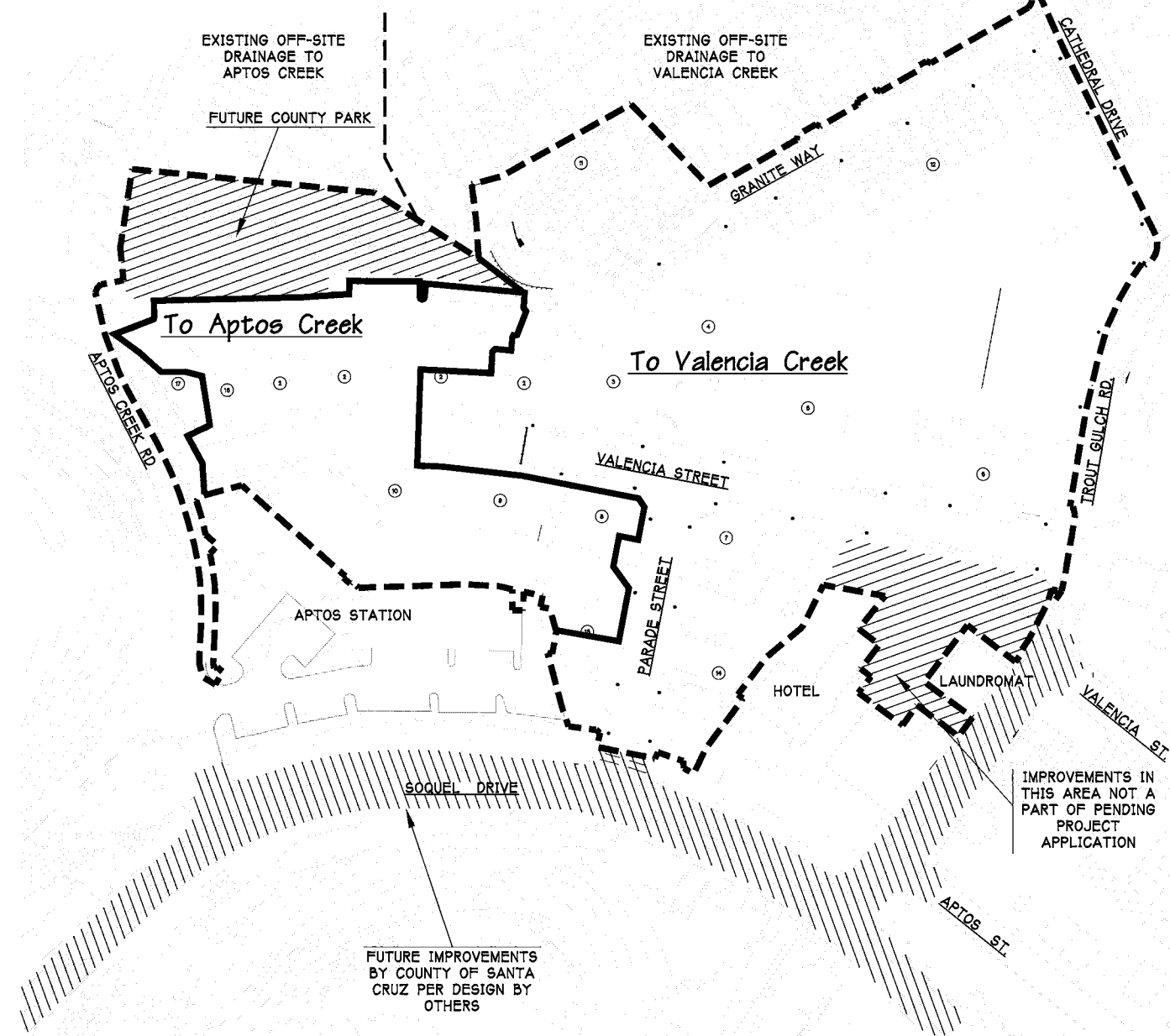
Stormwater Runoff Rates

RETURN PERIOD	RAINFALL INTENSITY	EXISTING CONDITIONS (CFS)		PROPOSED CONDITIONS*(CFS)	
		APTOS CREEK	VALENCIA CREEK	APTOS CREEK	VALENCIA CREEK
2-YEAR	1.09 IN/HR	1.00	2.17	---	---
5-YEAR	1.44 IN/HR	1.32	2.87	---	---
25-YEAR	2.04 IN/HR	2.05	4.47	1.13	2.85

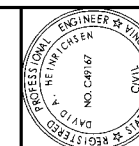
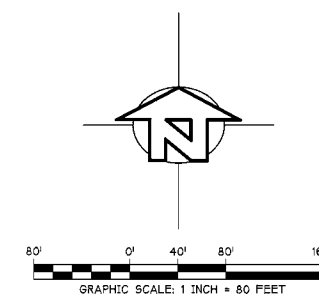
[FROM PRELIMINARY DRAINAGE ANALYSIS, DATED OCTOBER 2010, REVISED APRIL 2011, PREPARED BY IFLAND ENGINEERS, INC.]  
 \*PROPOSED CONDITIONS ARE MITIGATED TO A 5-YEAR PRE-DEVELOPMENT RELEASE RATE FOR THE 25-YEAR STORM EVENT. STORM EVENTS LESS THAN THE 25-YEAR SHALL HAVE A RELEASE RATE LESS THAN 5-YEAR PRE-DEVELOPMENT

Pre & Post Tributary Drainage Map

SCALE: 1" = 80'



Post-Construction



DATE	REVISION	BY	APPROVED
8-12-10	1	DAVID HENRICHSEN	DAVID HENRICHSEN

5200 SOQUEL AVE SUITE 101  
 SANTA CRUZ, CA 95062  
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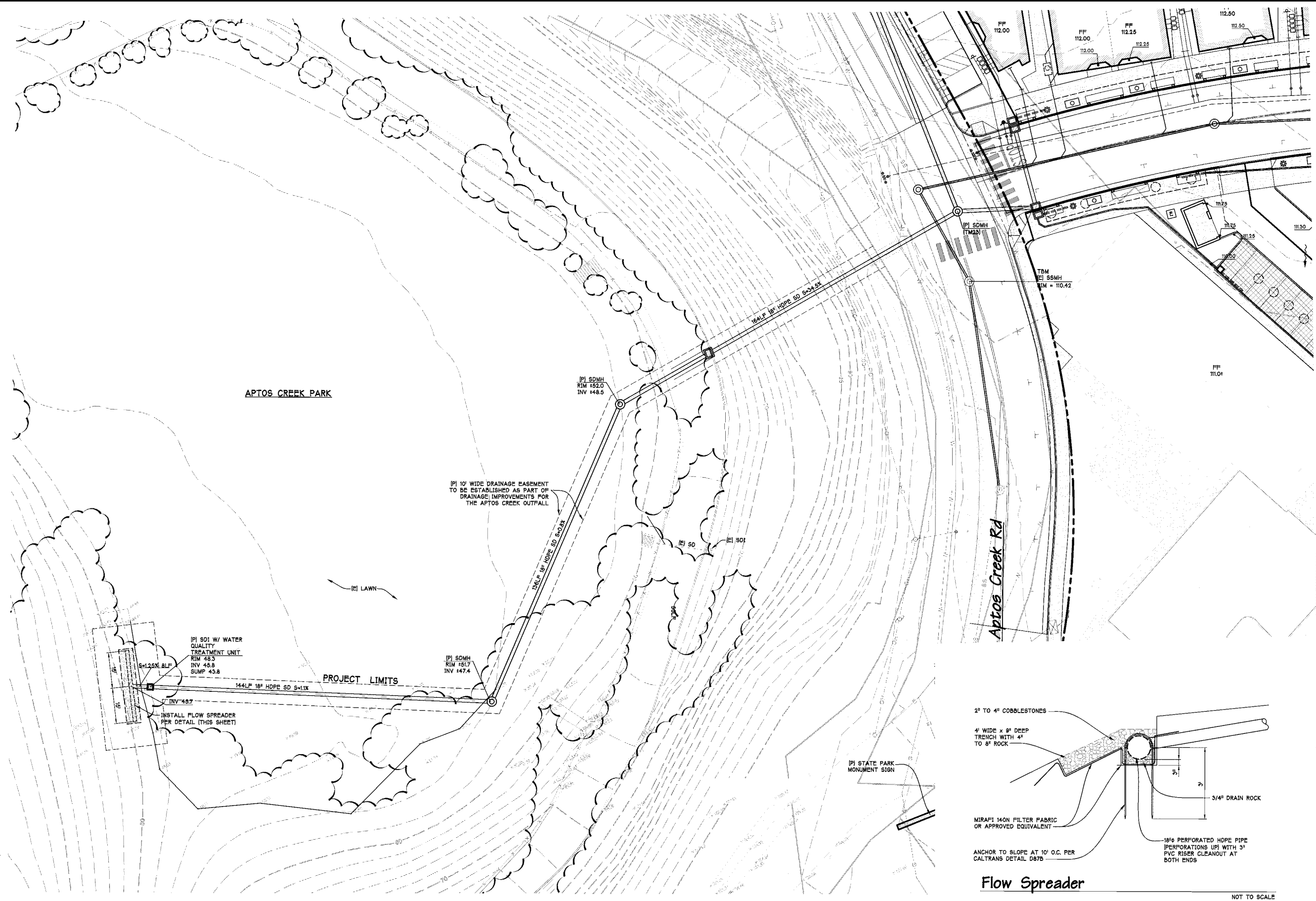
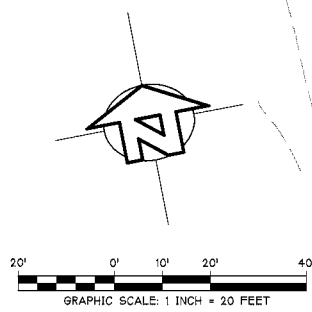
Pre & Post Tributary Drainage Map  
**Aptos Village**  
 Soquel Drive, Aptos, California

Vesting Tentative Map  
 TRACT NO. 1561, APR 04-01-03-2023  
 DATE 8/12/10  
 DESIGN N/A  
 DRAWN D.D.

SHEET  
**TM15**

JOB NO. 07040

\\ifland\ifland\projects\1561\1561-01\1561-01-03-2023\1561-01-03-2023.dwg (1561-01-03-2023.dwg) 8/12/10 1:11 PM

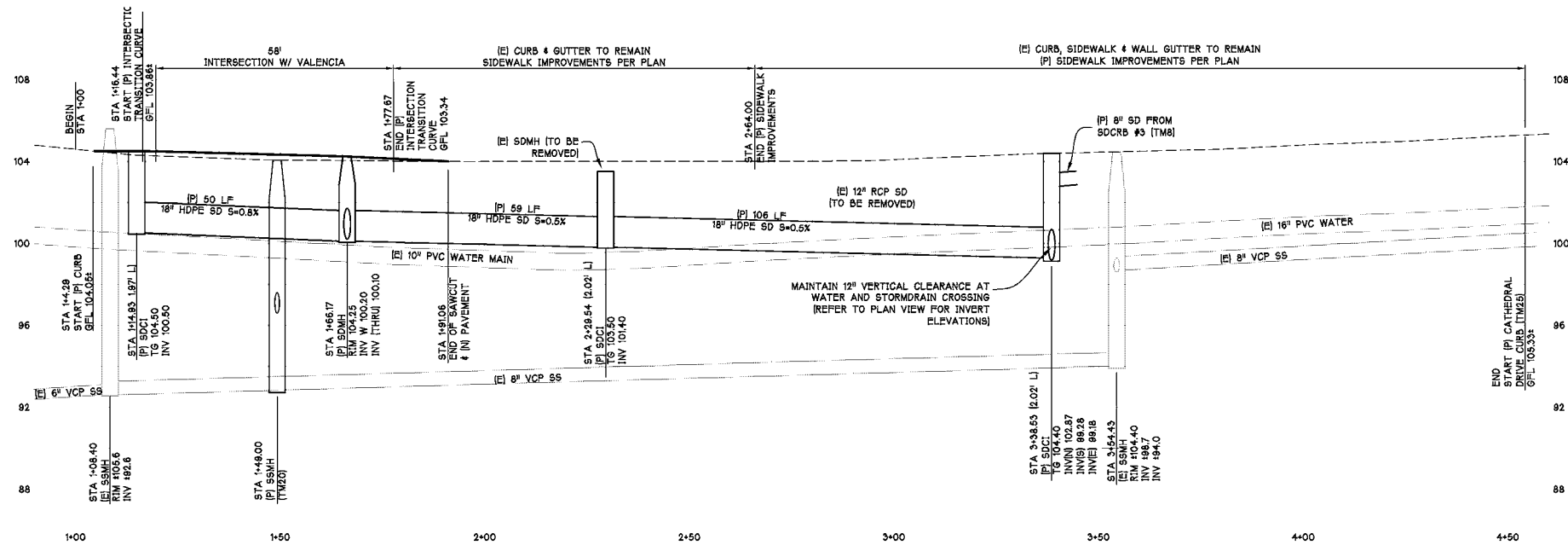


Drainage Outfall to Aptos Creek

SCALE: 1" = 20'

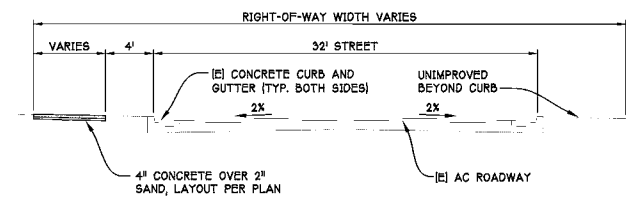
COUNTY REVIEW COMMENTS		DATE	APPROVED		For Plan Check Only DATE
COUNTY REVIEW COMMENTS		DATE	APPROVED		
COUNTY REVIEW COMMENTS		DATE	APPROVED		
5200 SOQUEL AVE SUITE 101 SAN JOSE, CA 95133 TEL (408) 424-5313 FAX (408) 424-1743 www.hanoverengineering.com					
ENGINEERS CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN					
Drainage Outfall to Aptos Creek Aptos Village Soquel Drive, Aptos, California					
Vesting Tentative Map TRACT NO. 1561, APR 04-01-03-2023		DATE 8/12/10	DESIGN DAH	DRAWN DJD	
SHEET TM16					
JOB NO. 07040					





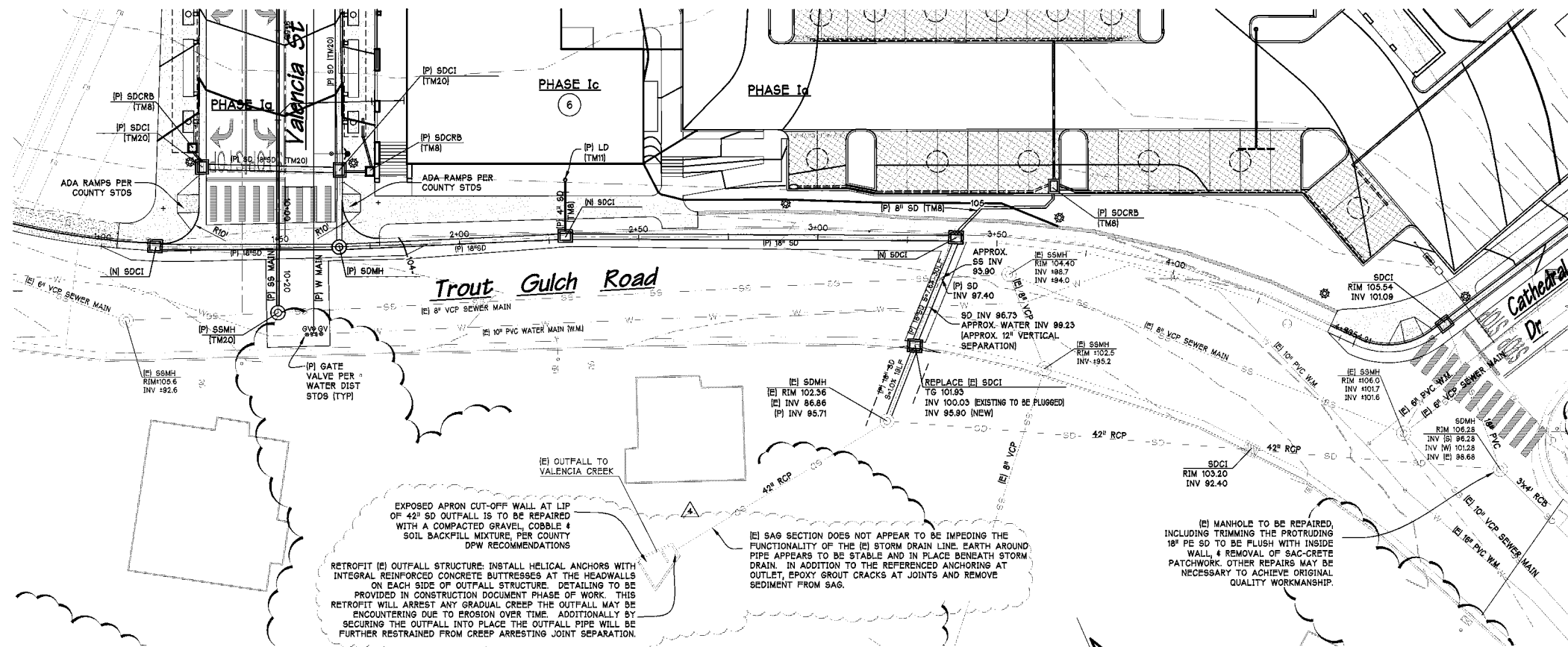
Trout Gulch Road - Profile

SCALE: 1" = 20' (H) / 1" = 4' (V)



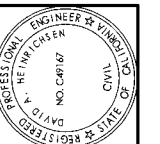
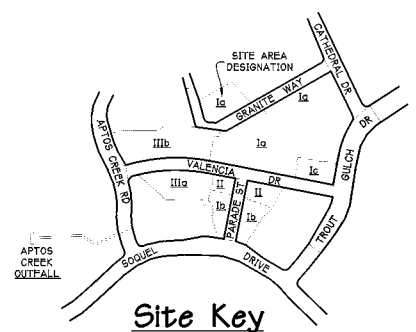
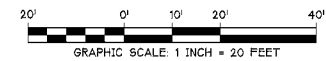
Street Section - Trout Gulch Road

SCALE: 1" = 8'



Trout Gulch Road - Plan

SCALE: 1" = 20'



DATE	REVISION	BY	APPROVED
6-5-11	1	DAH	DAH
6-5-11	2	DAH	DAH
6-5-11	3	DAH	DAH
6-5-11	4	DAH	DAH
6-5-11	5	DAH	DAH
6-5-11	6	DAH	DAH
6-5-11	7	DAH	DAH
6-5-11	8	DAH	DAH
6-5-11	9	DAH	DAH
6-5-11	10	DAH	DAH
6-5-11	11	DAH	DAH
6-5-11	12	DAH	DAH
6-5-11	13	DAH	DAH
6-5-11	14	DAH	DAH
6-5-11	15	DAH	DAH
6-5-11	16	DAH	DAH
6-5-11	17	DAH	DAH
6-5-11	18	DAH	DAH
6-5-11	19	DAH	DAH
6-5-11	20	DAH	DAH

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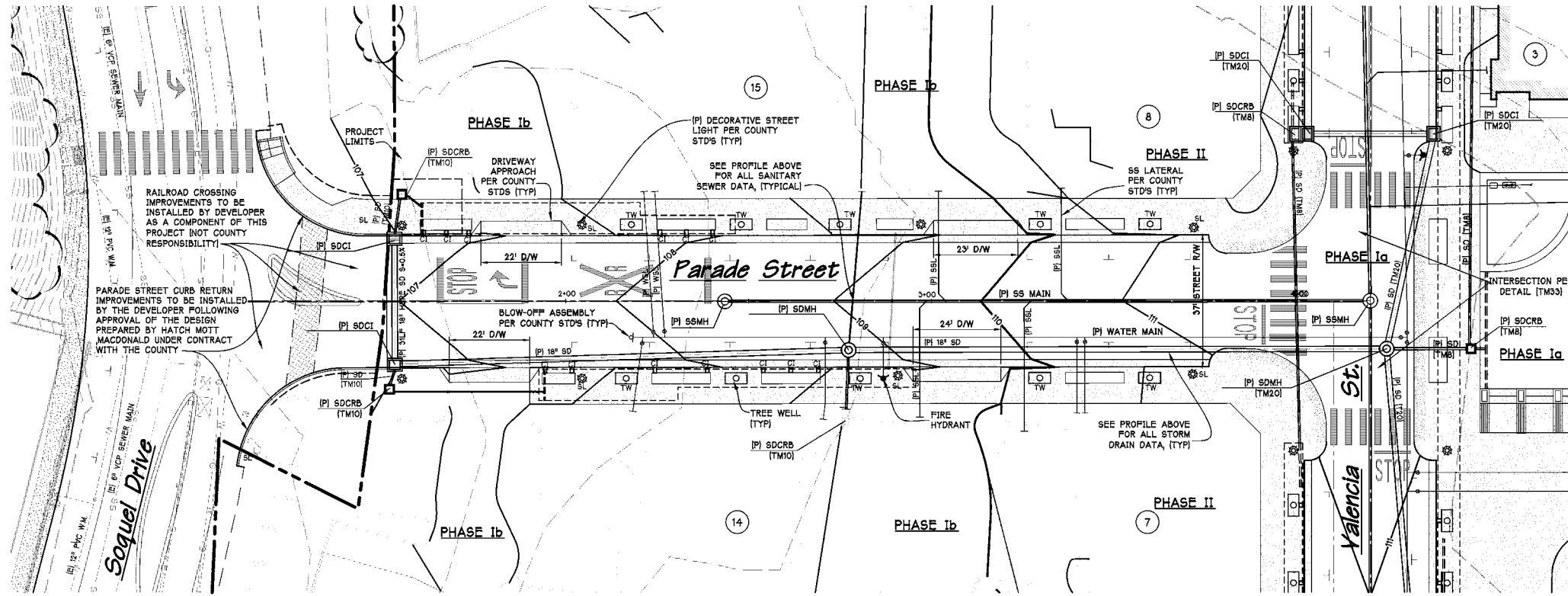


Plan and Profile - Trout Gulch Road  
**Aptos Village**  
Soquel Drive, Aptos, California

DATE	DESIGN	DRAWN
8/12/10	DAH	D.D.

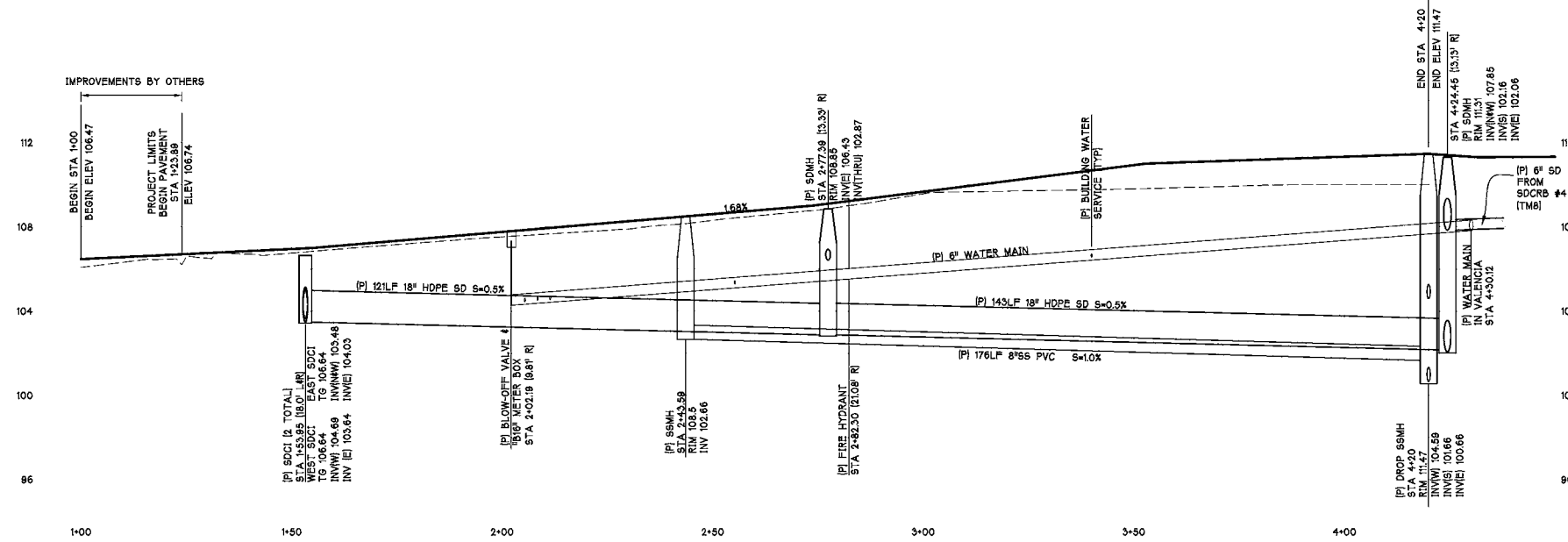
Vesting Tentative Map  
TRACT NO. 1561, APR 04-01-03-2023  
TM17

JOB NO. 07040



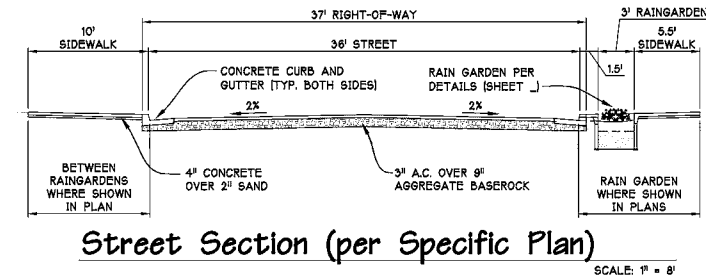
Parade Street - Plan

SCALE: 1" = 20'



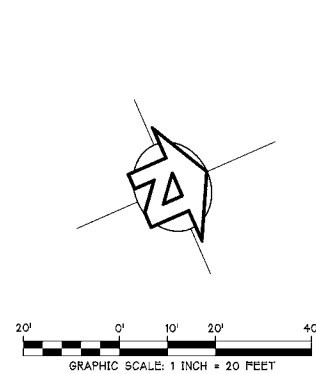
Parade Street - Profile

SCALE: 1" = 20' (H) / 1" = 4' (V)



Street Section (per Specific Plan)

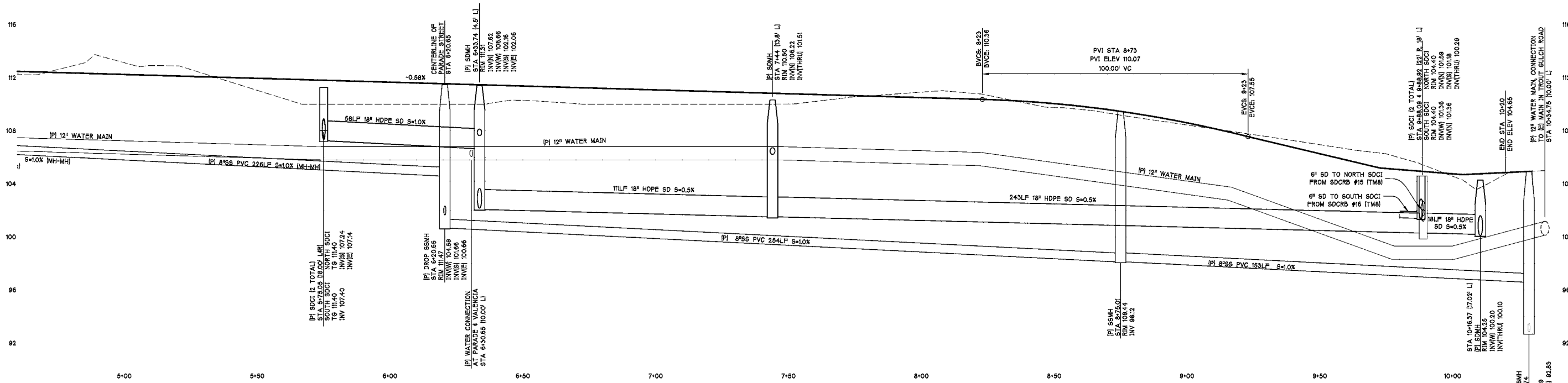
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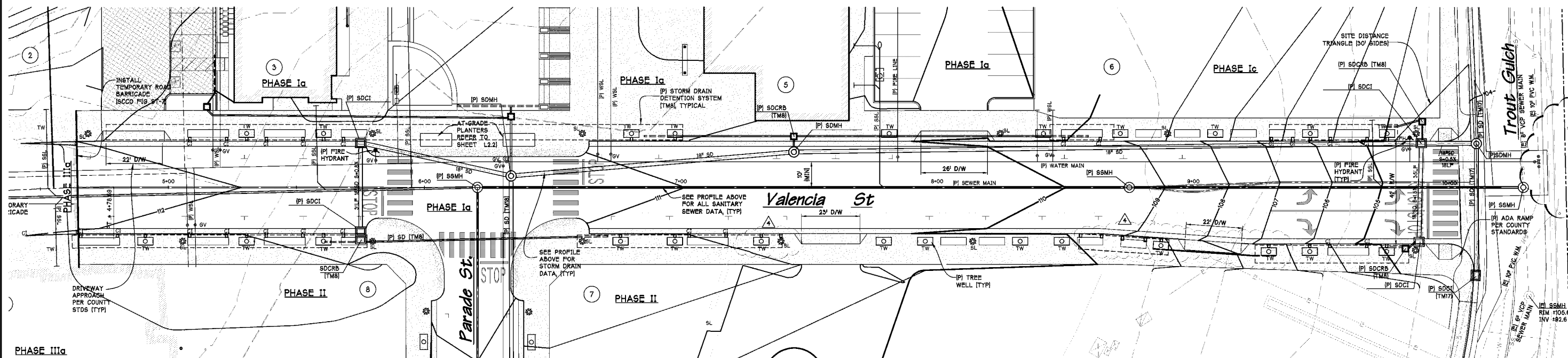
Site Key

County Review Comments (4th Review)	6-5-11
County Review Comments (3rd Review)	1-5-11
County Review Comments (2nd Review)	1-5-11
County Review Comments (1st Review)	1-5-11
APPROVED	DATE
<b>For Plan Check Only</b>	
DAVID HIRSCH, INC. (PCE NO. 49107)	
5200 SOQUEL AVE SUITE 101 SAN JOSE, CA 95128 TE: (408) 424-5313 FAX: (408) 424-1743 www.hatchmottmacdonald.com	
<b>LAND ENGINEERS</b> CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN	
Plan and Profile - Parade Street	
<b>Aptos Village</b>	
Soquel Drive, Aptos, California	
Vesting Tentative Map	TRACT NO. 1561, APN 041-011-03-2013
DATE	8/12/10
DESIGN	DAH
DRAWN	D.D.
SHEET	
TM18	
JOB NO. 07040	

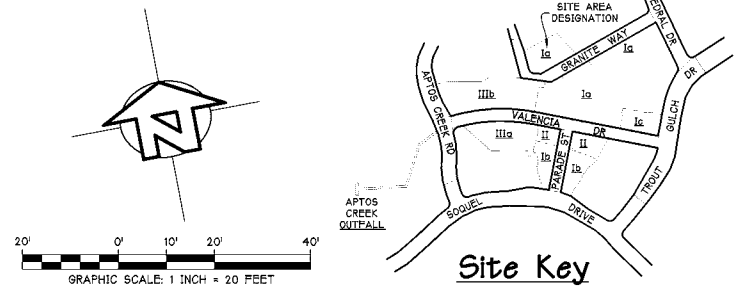
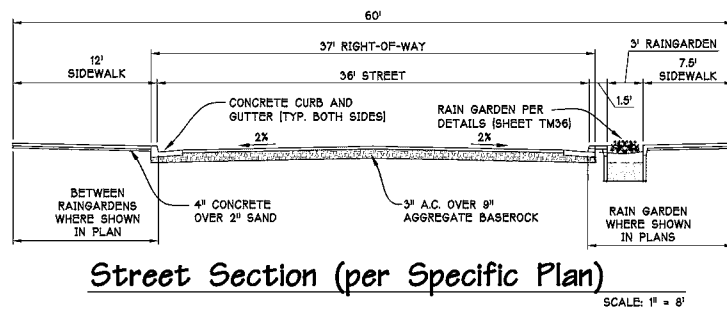




Valencia Street - Profile  
SCALE: 1" = 20' (H) / 1" = 4' (V)



Phase Ia - Valencia Street - Plan  
SCALE: 1" = 20'



DATE	8/12/10
DESIGN	DAH
DRAWN	DJD
SHEET <b>TM20</b>	
JOB NO. 07040	

**Vesting Tentative Map**  
TRACT NO. 1561, API 041-011-03-2023

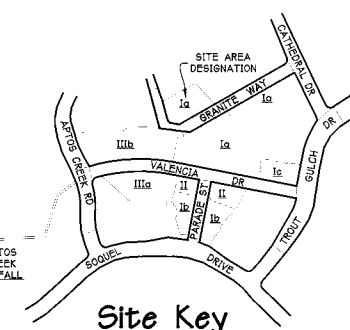
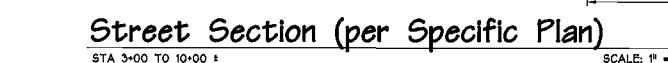
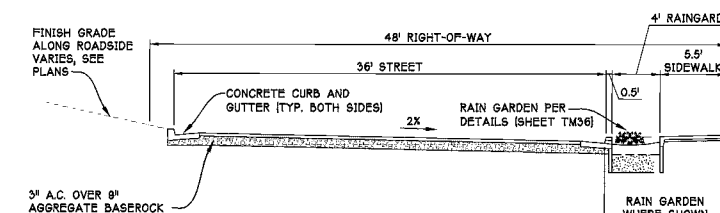
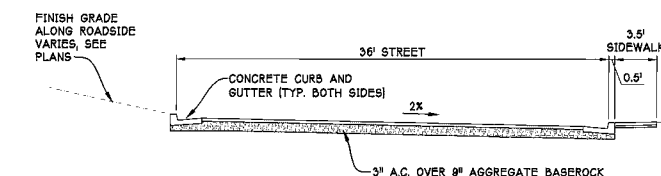
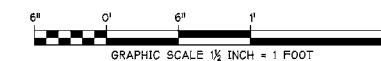
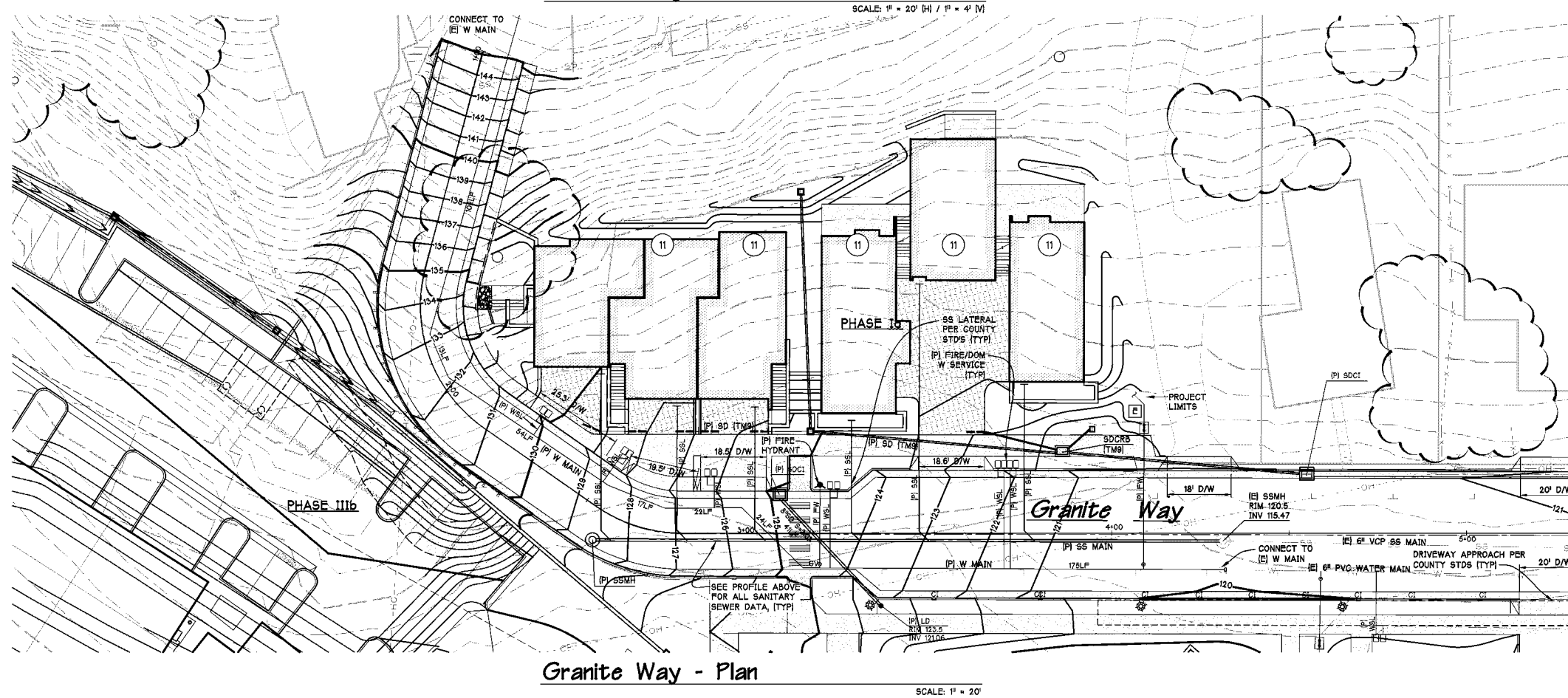
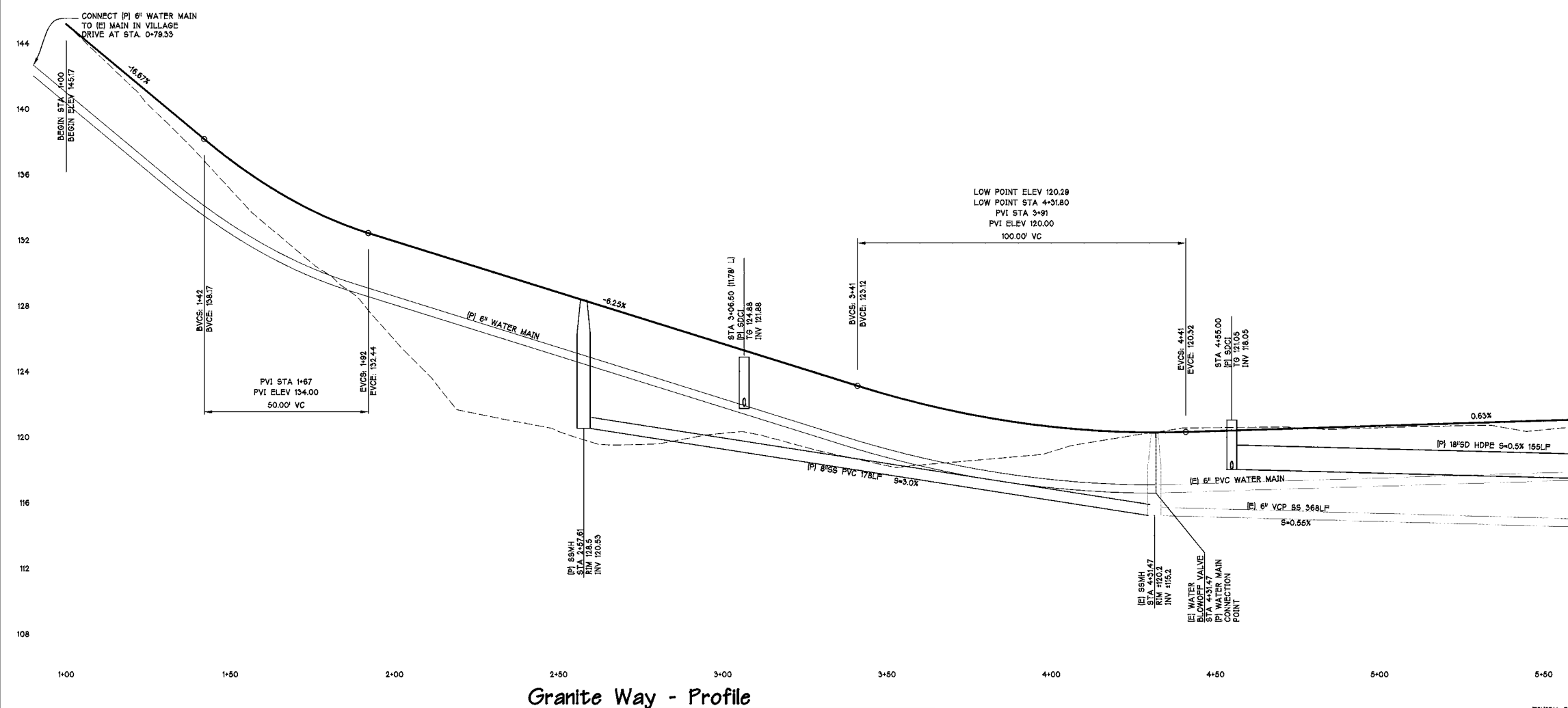
**Phase Ia - Plan & Profile - Valencia Street (East)**  
**Aptos Village**  
Soquel Drive, Aptos, California

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SANTA CRUZ, CA 95062  
TEL (831) 424-5313  
FAX (831) 424-1743  
www.ManningEngineers.com

**ENGINEERS**  
CIVIL ENGINEERING ■ LAND PLANNING ■ STRUCTURAL DESIGN

**For Plan Check Only**  
APPROVED BY: [Signature]  
DAVID HENRICHSSEN (P.E. NO. 49107)




[illegible]

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FAX: (831) 426-1763  
[www.llondengineers.com](http://www.llondengineers.com)



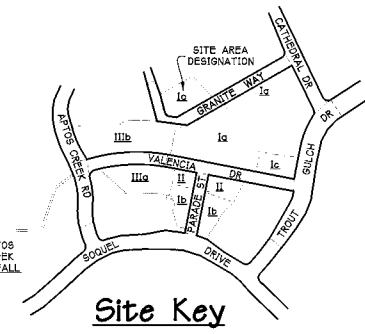
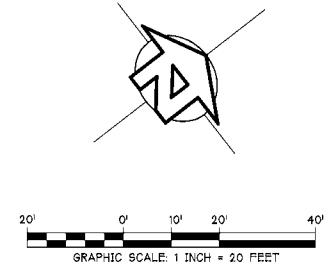
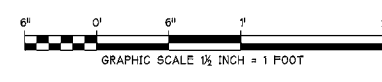
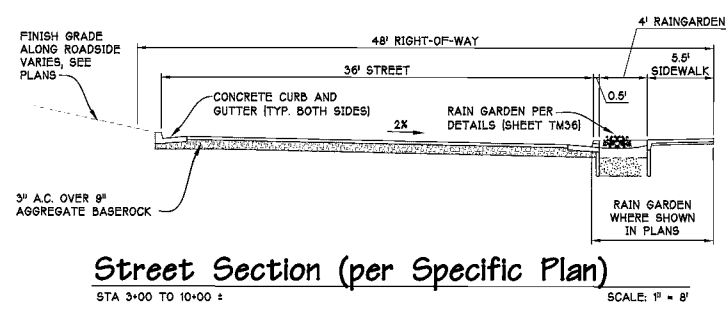
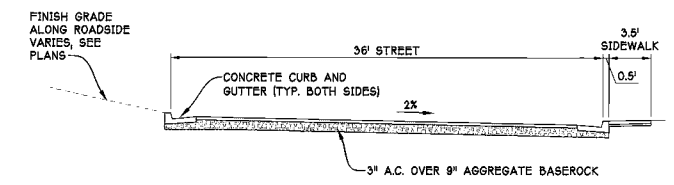
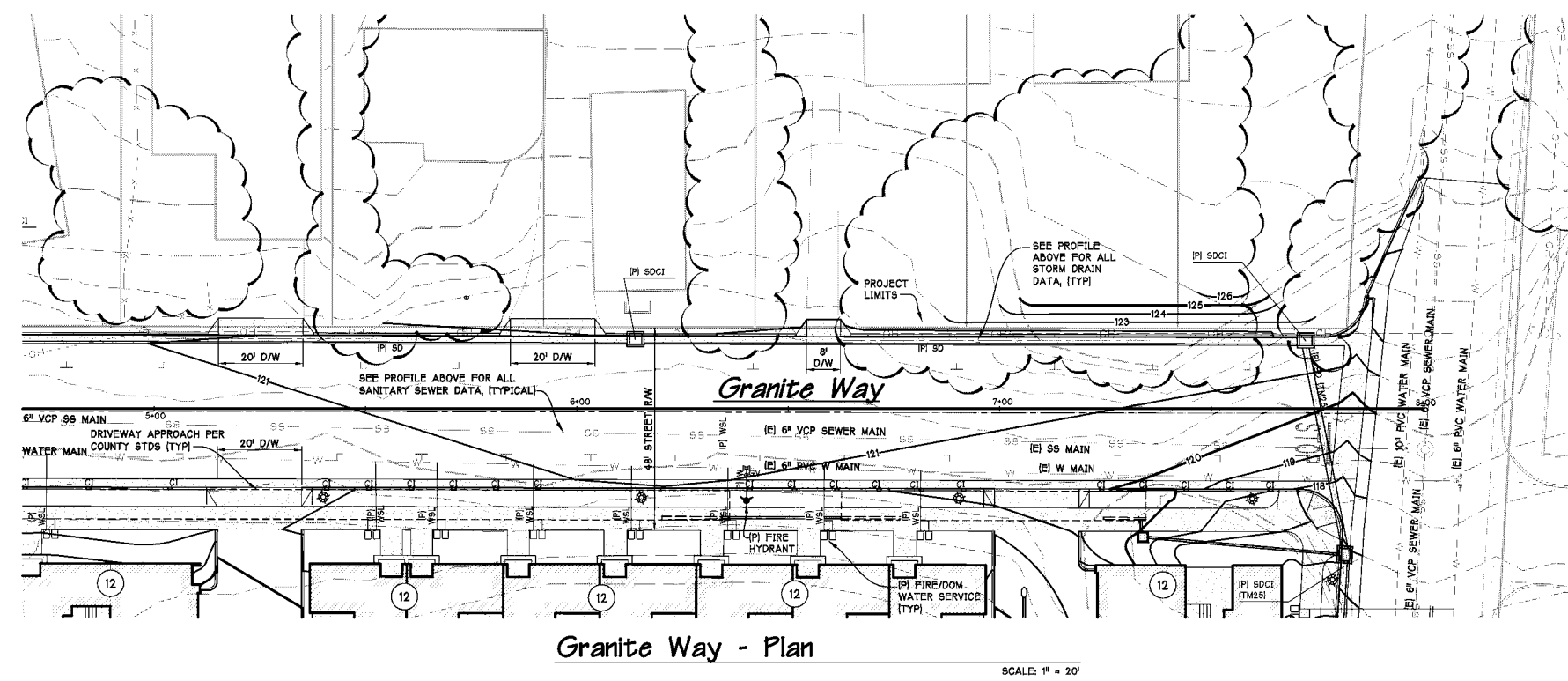
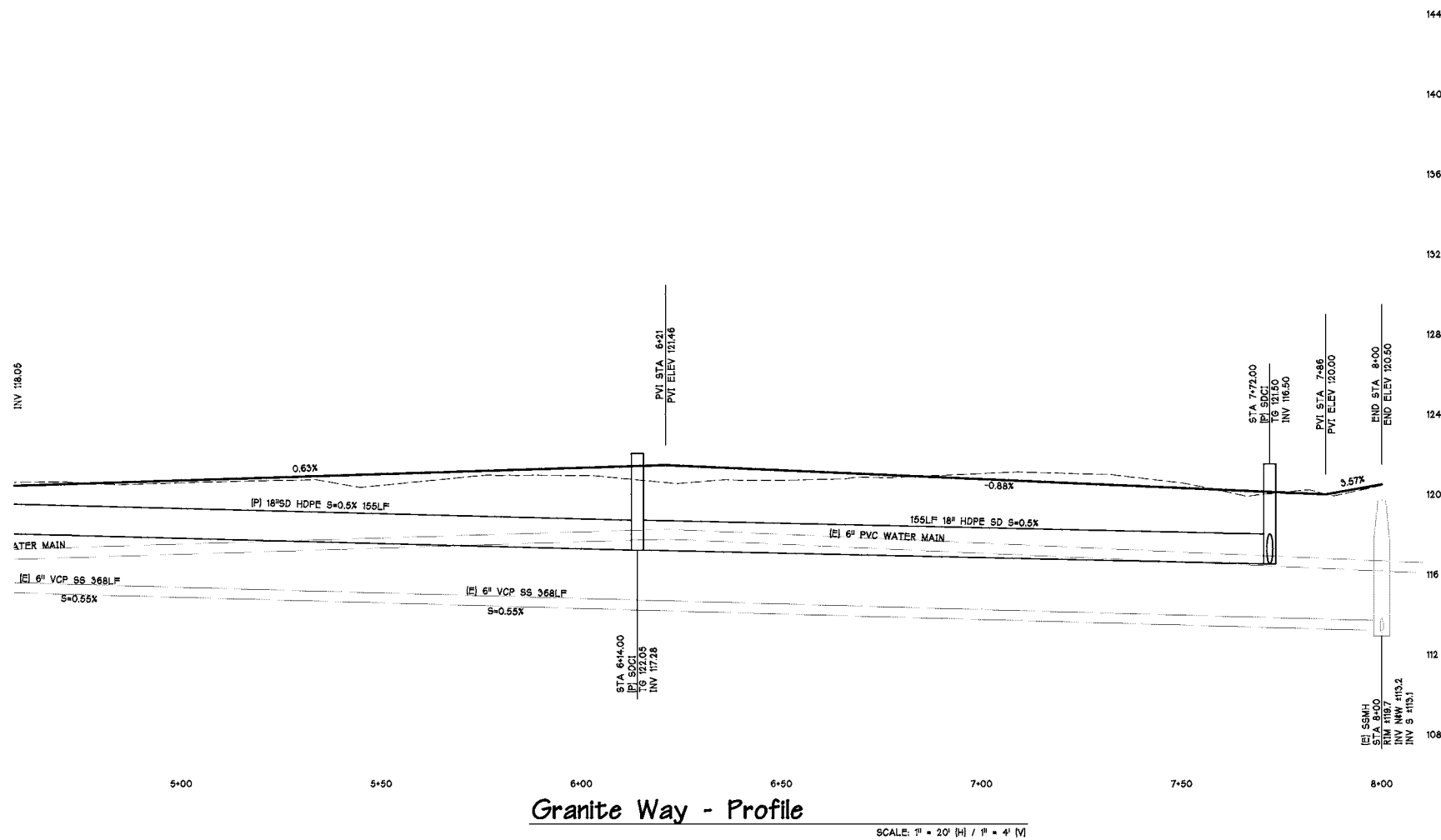
# Plan and Profile - Granite Way (West)

## Aptos Village

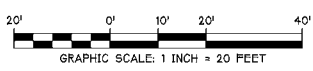
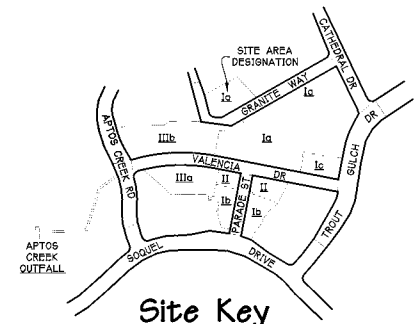
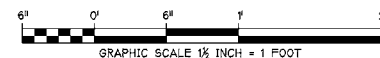
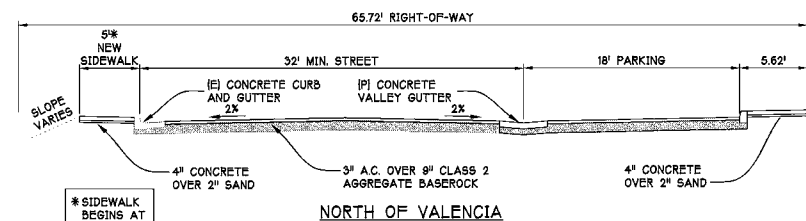
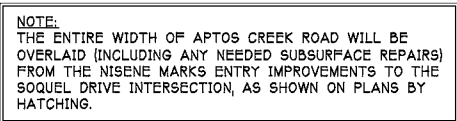
Vesting Tentative Map  
TRACT NO. 1561, APN 041-011-03, 20, 23

SHEET  
TM21  
JOB NO. 07040

JOB NO. 07040

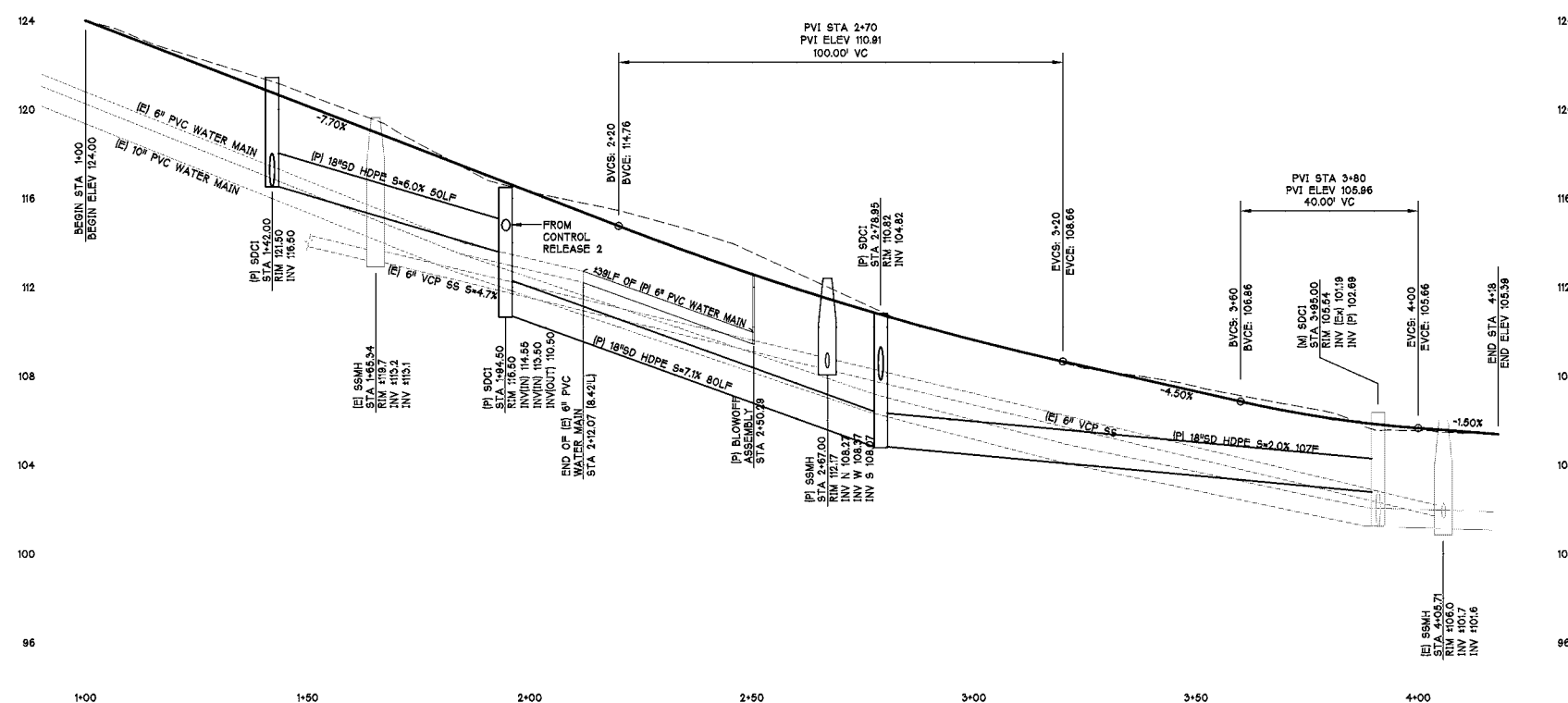


5200 SOQUEL AVE SUITE 101 SANTA CRUZ, CA 95062 TEL (831) 424-5313 FAX (831) 424-1743 www.HandEngineers.com		DAVID HENRICSEN REGISTERED PROFESSIONAL ENGINEER NO. C49167 DATE	
APPROVED		DATE	
FOR PLAN CHECK ONLY		DATE	
DAVID HENRICSEN (P.E. NO. 49167)		DATE	
Plan and Profile - Granite Way (East)			
Aptos Village			
Soquel Drive, Aptos, California			
Vesting Tentative Map TRACT NO. 1561, API 041-011-03-2023		DESIGN	DAH
DATE	8/12/10	DRAWN	DJD
SHEET		TM22	
JOB NO.		07040	

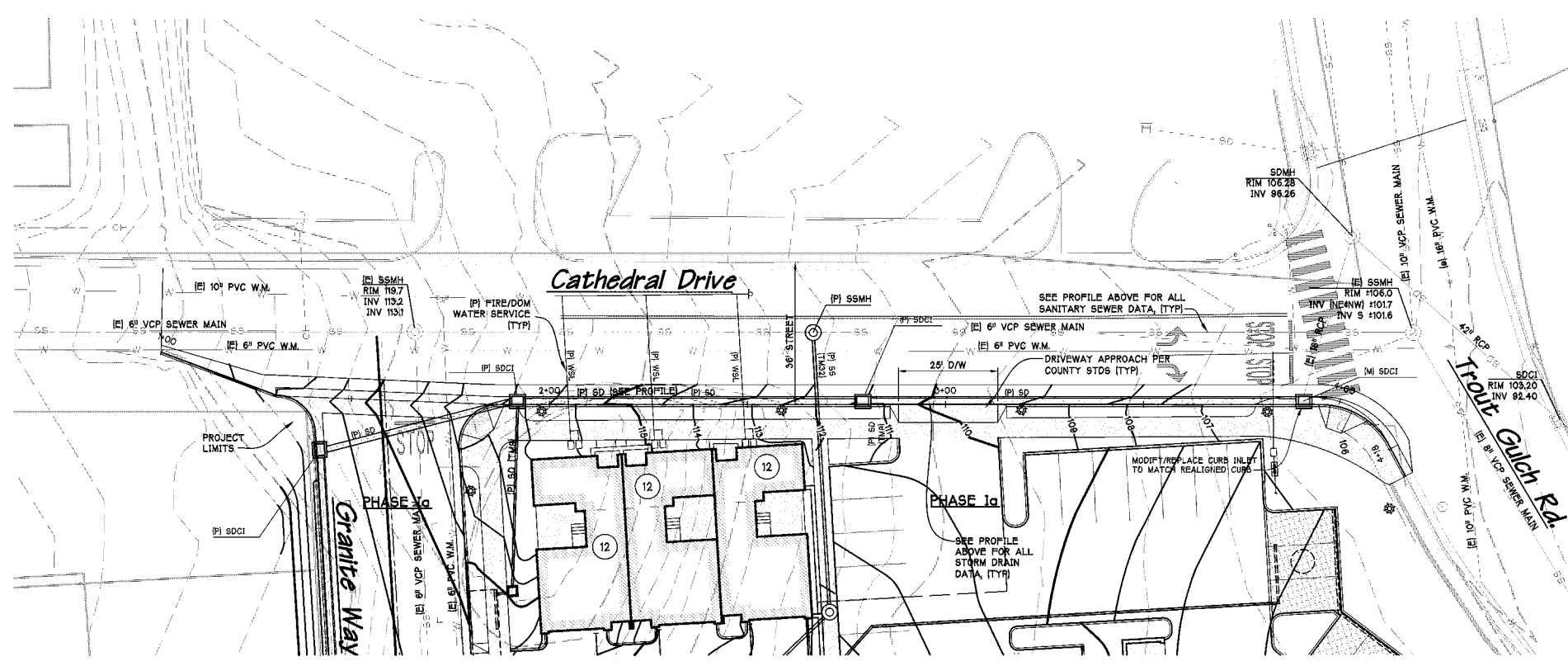




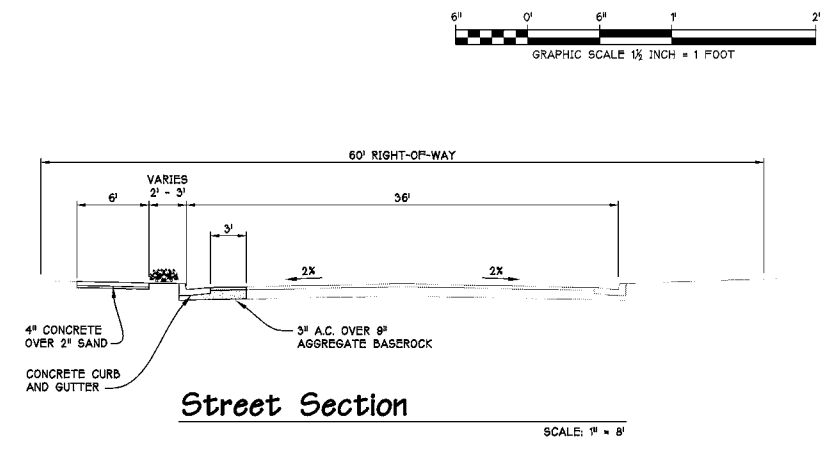




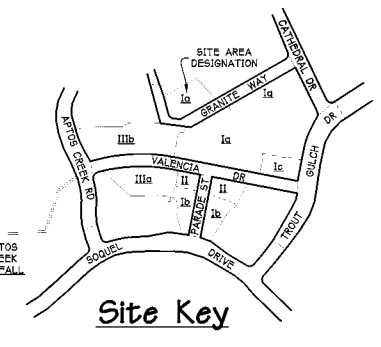
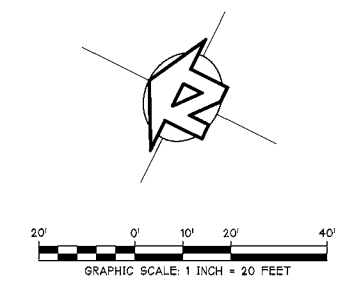
Cathedral Drive - Profile  
SCALE: 1" = 20' (H) / 1" = 4' (V)

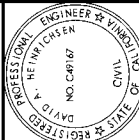



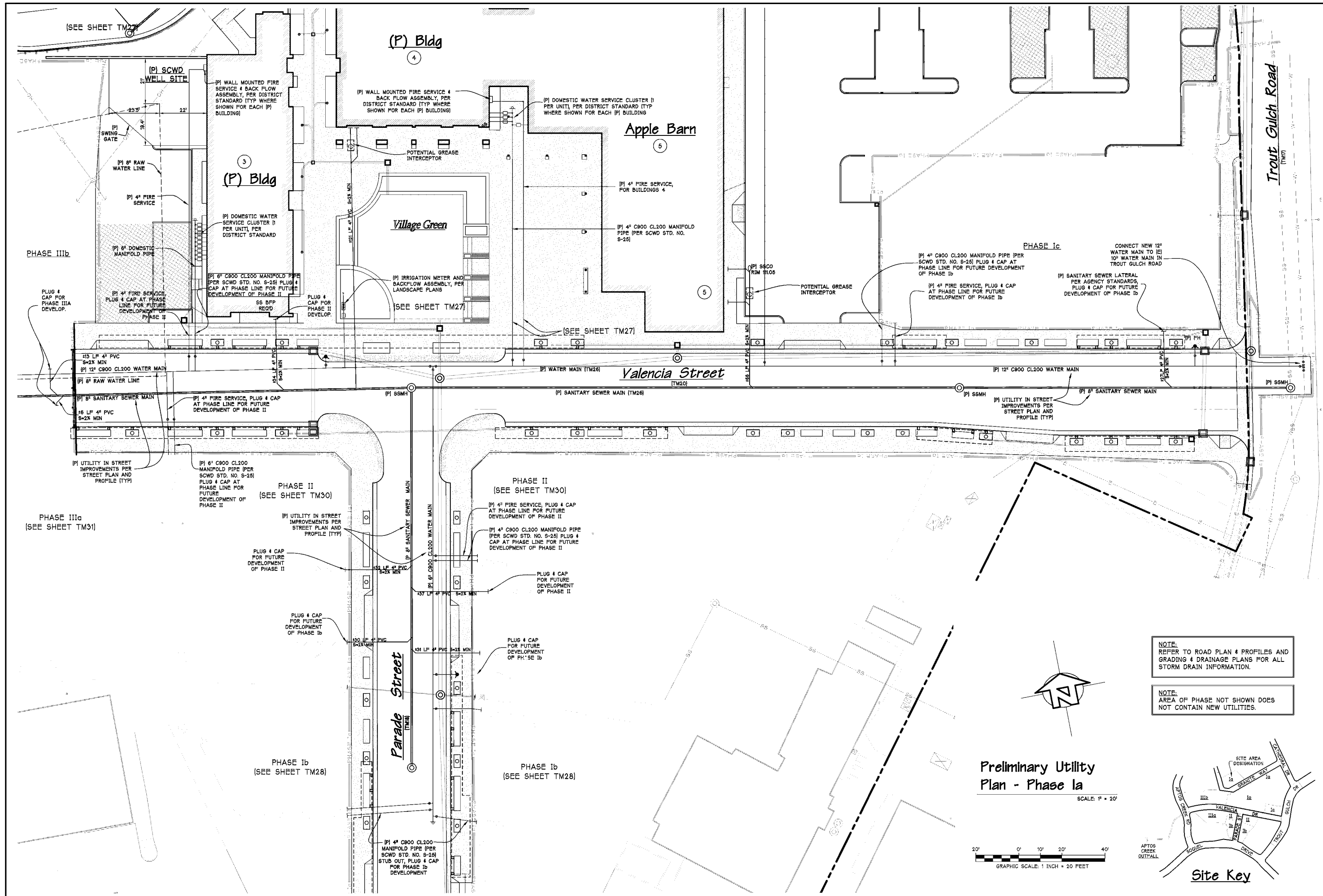
Cathedral Drive - Plan  
SCALE: 1" = 20'



Street Section  
SCALE: 1" = 8'



	
County Review Comments (Min. Routing)	6-5-11
County Review Comments (3rd Routing)	1-5-11
County Review Comments (Final Design)	1-5-11
BY	REVISION
DATE	DATE
<b>For Plan Check Only</b>	
APPROVED	
DAVID HENRICSEN (P.E. NO. 49107)	
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Plan and Profile - Cathedral Drive	
<b>Aptos Village</b>	
Soquel Drive, Aptos, California	
Vesting Tentative Map	DATE
TRACT NO. 1561, APN 041-011-03-2023	8/12/10
DESIGN	DAH
DRAWN	DJD
SHEET	
TM25	
JOB NO. 07040	



PROFESSIONAL ENGINEER & LANDSCAPE ARCHITECT  
DAVID HENRICSEN  
NO. 049167  
STATE OF CALIFORNIA

4-27-11  
County Review Comments (3rd routing)  
10-15-10  
County Review Comments (2nd routing)  
10-15-10  
BY  
DATE

APPROVED  
DAVID HENRICSEN (P.E. No. 049167)

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Preliminary Utility Plan - Phase Ia  
**Aptos Village**  
Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APN 041-011-032023

DATE  
8/12/10

DESIGN  
DAH

DRAWN  
DJD

SHEET  
**TM26**

JOB NO. 07040

NOTE:  
REFER TO ROAD PLAN & PROFILES AND  
GRADING & DRAINAGE PLANS FOR ALL  
STORM DRAIN INFORMATION.

NOTE:  
AREA OF PHASE NOT SHOWN DOES  
NOT CONTAIN NEW UTILITIES.

20'

0'

10'

20'

40'

GRAPHIC SCALE: 1 INCH = 20 FEET

SCALE: 1" = 20'

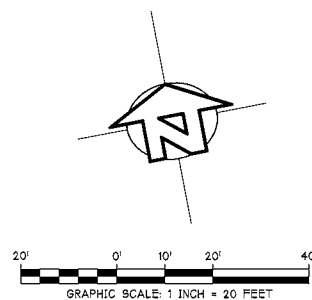
**Preliminary Utility  
Plan - Phase Ia**

SITE AREA DESIGNATION  
Ia  
IIa  
IIIa  
Ib  
IIb  
IIIb  
DRIVE  
VALLENCIA  
SOQUEL  
CREEK  
OUTFALL

**Site Key**



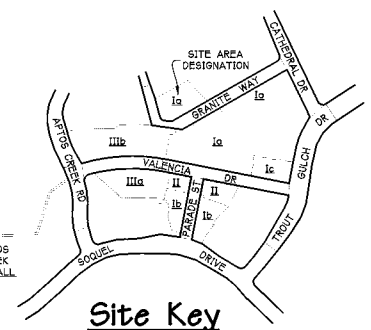


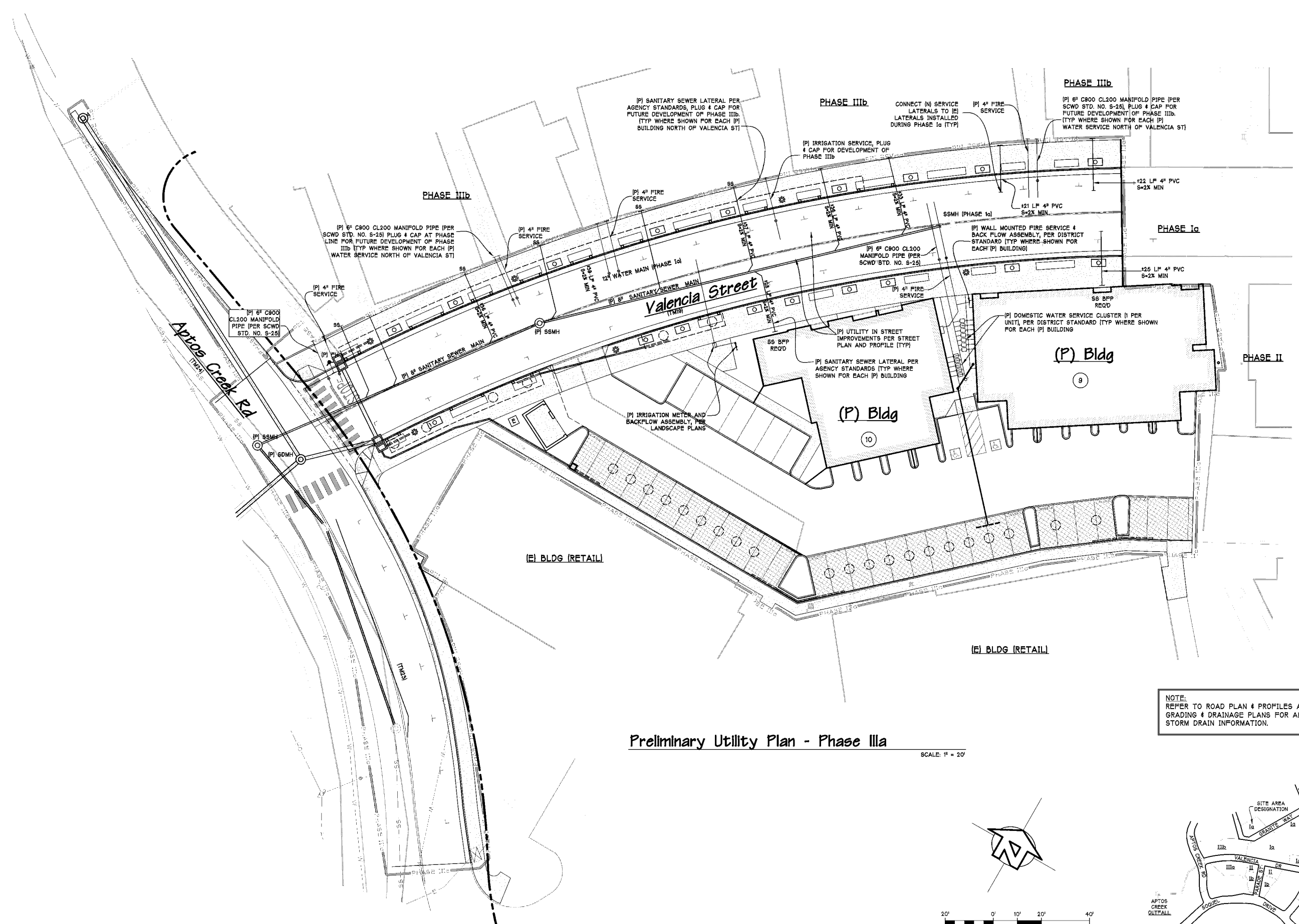


SCALE: 1" = 20'

NOTE:  
REFER TO ROAD PLAN & PROFILES AND  
GRADING & DRAINAGE PLANS FOR ALL  
STORM DRAIN INFORMATION.

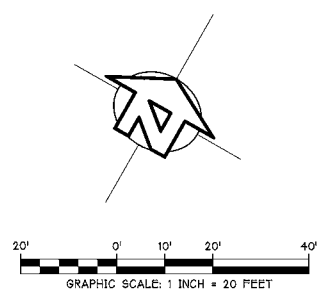




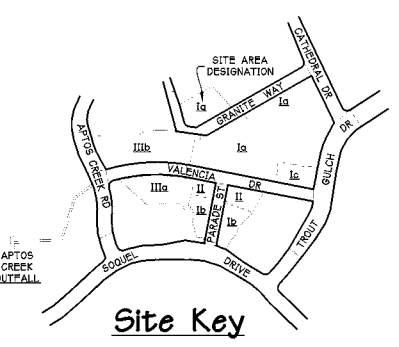


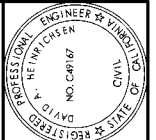
Preliminary Utility Plan - Phase IIIa

SCALE: 1" = 20'



NOTE:  
REFER TO ROAD PLAN & PROFILES AND  
GRADING & DRAINAGE PLANS FOR ALL  
STORM DRAIN INFORMATION.



	
County Review Comments (Min. Required)	6-5-11
County Review Comments (3rd Review)	1-28-11
County Review Comments (Final Review)	1-28-11
DATE	8/12/10
DESIGN	DAH
DRAWN	DJD
SHEET	
TM31	
JOB NO. 07040	

**Vesting Tentative Map**  
TRACT NO. 1561, APN 041-011-03-2023

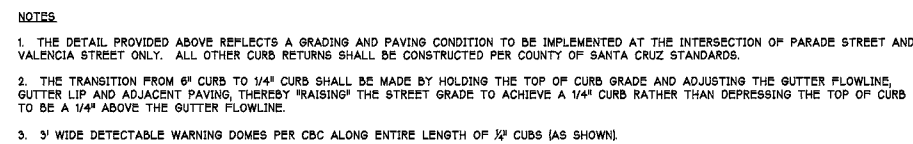
**Preliminary Utility Plan - Phase IIIa**  
**Aptos Village**  
Soquel Drive, Aptos, California

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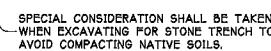
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**For Plan Check Only**  
DATE

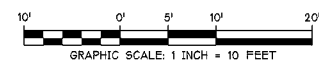
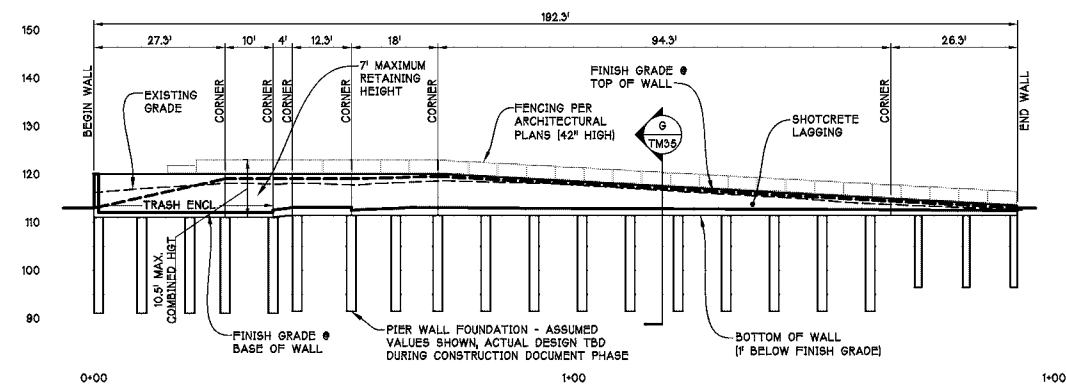
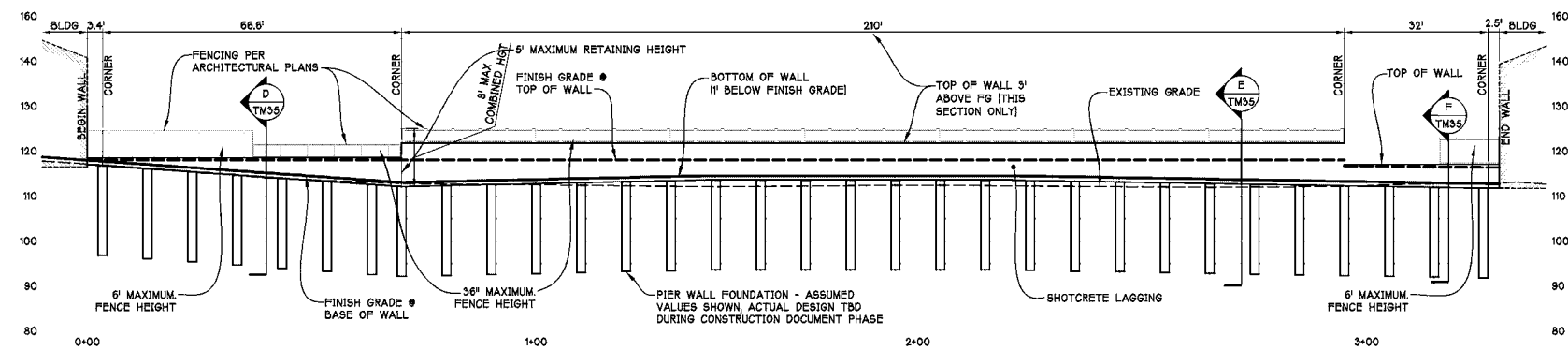
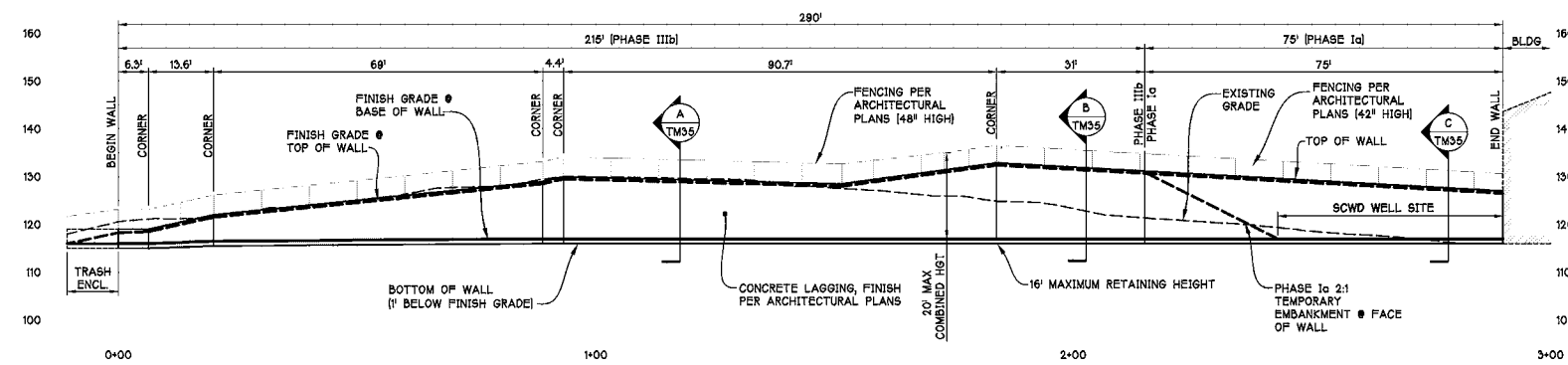




SCALE:  $1^{\text{st}} = 10^4$



JOB NO. 07040

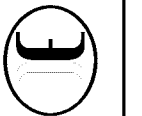


6/15-11	County Review Comments (4th Routing)	DATE
4/28-11	County Review Comments (3rd Routing)	DATE
1-18-11	County Review Comments (2nd round)	DATE
<div> <div>APPROVED</div> <div> <div>For Plan Check Only</div> <div>DAVID HEINRICHSEN (RCE NO. 49/67)</div> </div> </div>		
BY	REVISION	

**For Flight Check Only**  
 DAVID HEINRICHSEN (RCE NO. 49167)      DATE

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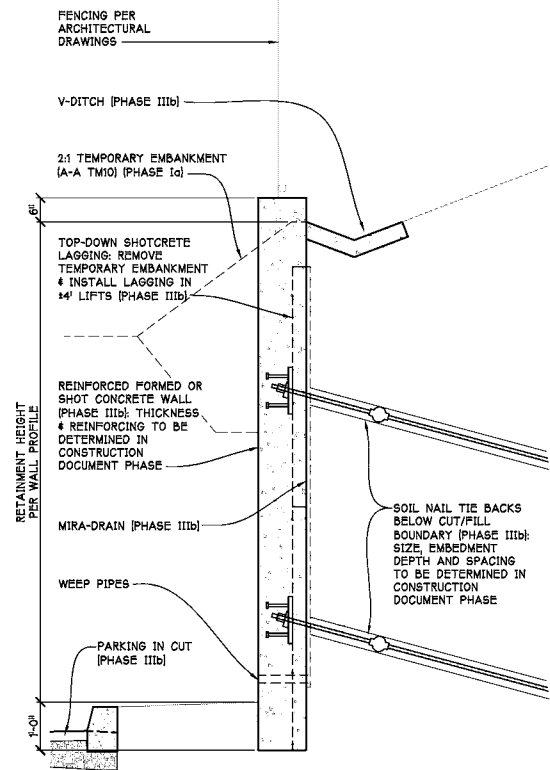
**Aptos Village**  
Soquel Drive, Aptos, California  
STANLEY, JEFFREY & ASSOCIATES, INC.

DATE	DESIGN	DRAWN
8/12/10	DAH	DJD

TM34

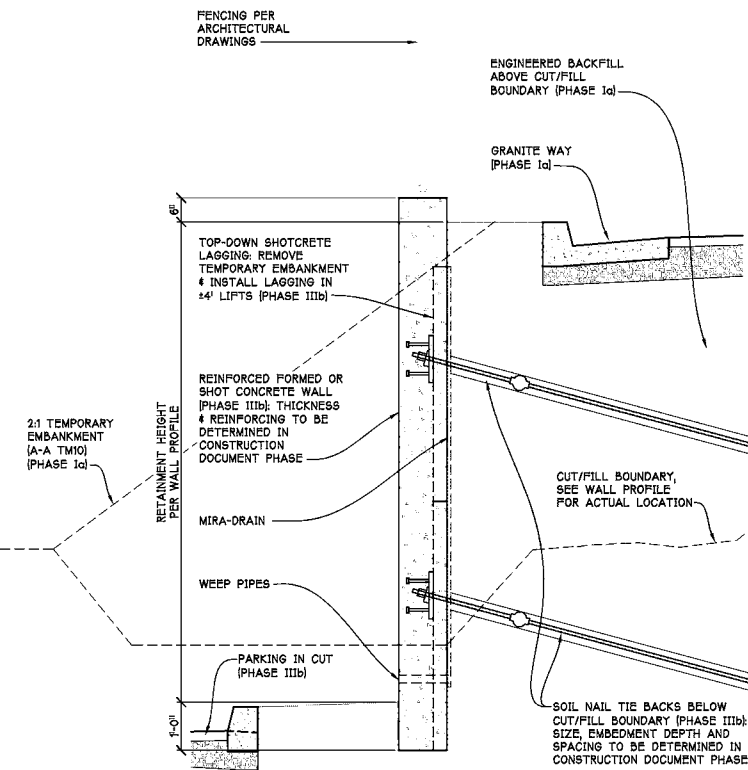
B No. 07040





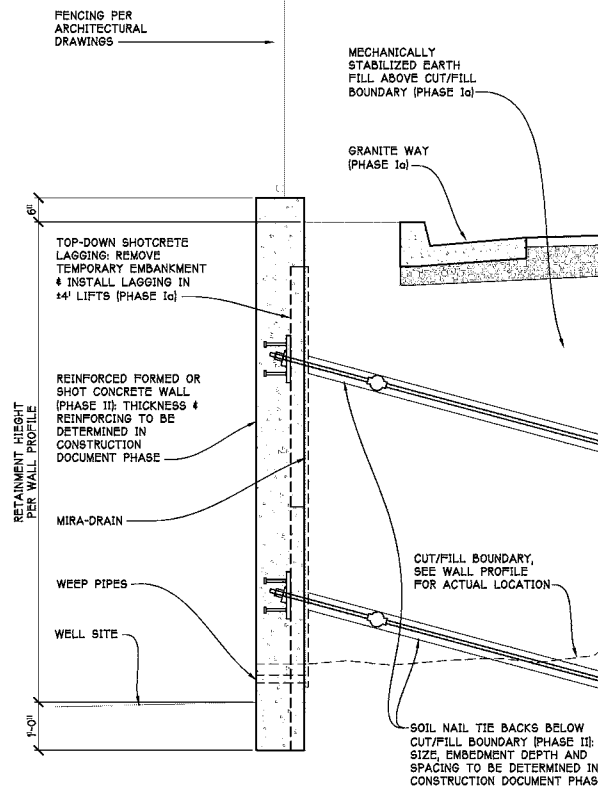
Retaining Wall #1 Section A

1/2"=1'-0"



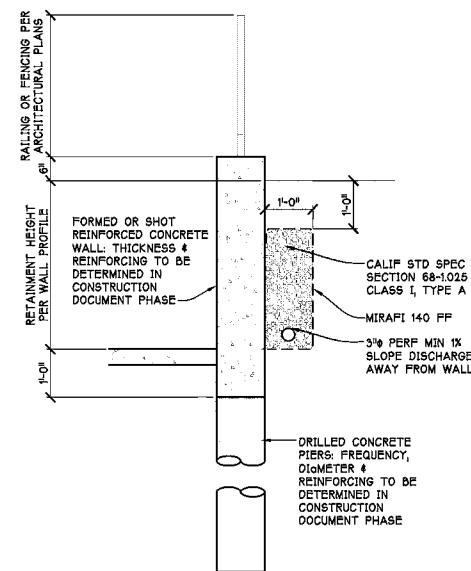
Retaining Wall #1 Section B

1/2"=1'-0"



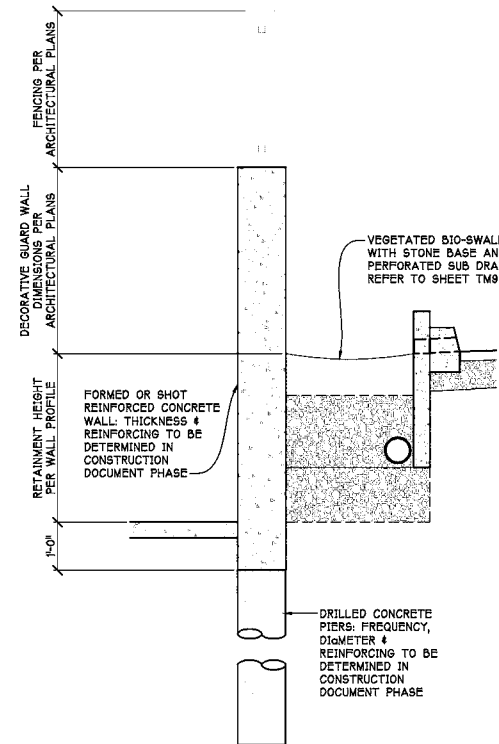
Retaining Wall #1 Section C

1/2"=1'-0"



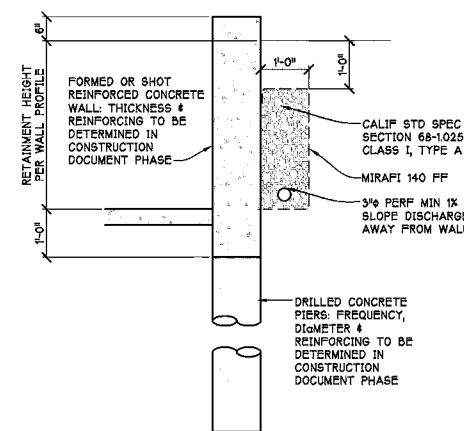
Retaining Wall #2 Section D

1/2"=1'-0"



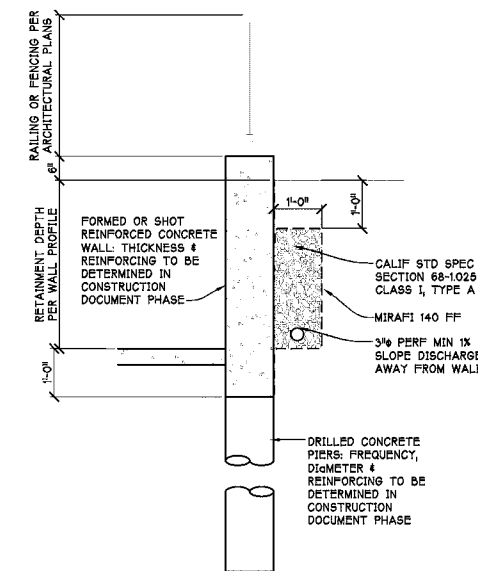
Retaining Wall #2 Section E

1/2"=1'-0"



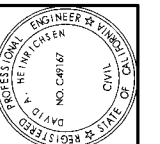
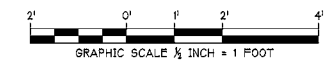
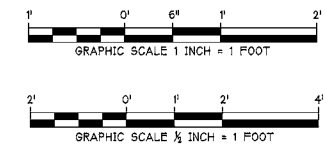
Retaining Wall #2 Section F

1/2"=1'-0"



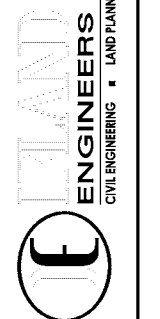
Retaining Wall #3 Section G

1/2"=1'-0"



DATE	REVISION	BY	APPROVED
6-15-11	1	DAH	DAH
6-15-11	2	DAH	DAH
6-15-11	3	DAH	DAH
6-15-11	4	DAH	DAH
6-15-11	5	DAH	DAH
6-15-11	6	DAH	DAH
6-15-11	7	DAH	DAH
6-15-11	8	DAH	DAH
6-15-11	9	DAH	DAH
6-15-11	10	DAH	DAH

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DAVID HENRICSON (P.E.)  
STRUCTURAL DESIGN

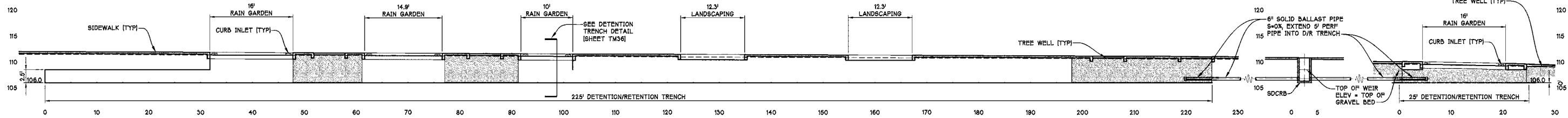


Retaining Wall Sections  
**Aptos Village**  
Soquel Drive, Aptos, California

DATE	DESIGN	DRAWN
8/12/10	DAH	DJD

Vesting Tentative Map  
TRACT NO. 1561, APN 041-011-03-20-23

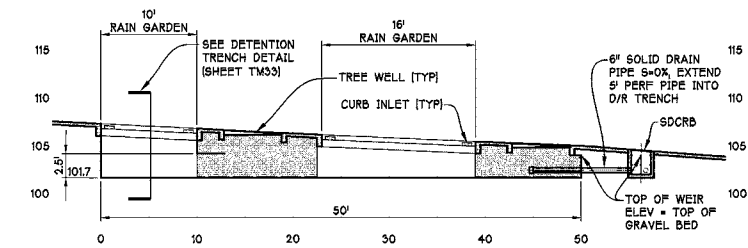
SHEET  
**TM35**  
JOB NO. 07040



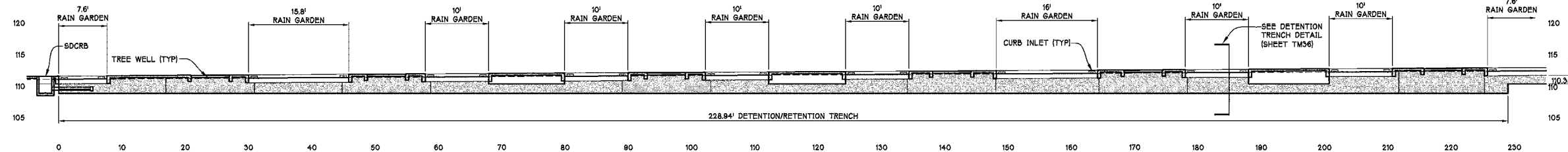
Drainage System 2c - Profile  
1"=10'

### Notes

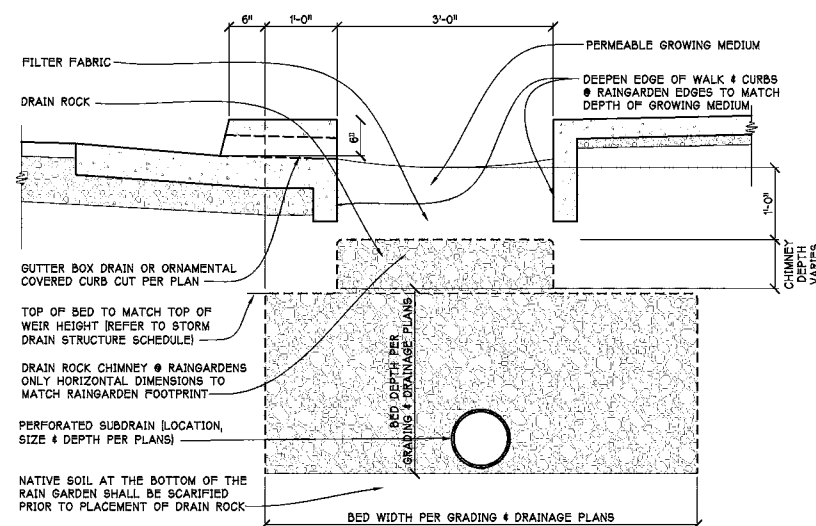
STREET DRAINAGE SYSTEMS FOR VALENCIA STREET & PARADE STREET ARE OF SIMILAR DESIGN. THE PROFILE SHOWN HEREON DEPICTS THE LAYOUT FOR THE EASTERLY SYSTEM WITHIN VALENCIA STREET. THIS PROFILE, ALTHOUGH DETAILED FOR VALENCIA, IS TYPICAL FOR THE REMAINING SYSTEMS WITHIN PARADE STREET & VALENCIA STREET; THE DEPTHS OF STONE, LOCATION OF RAINGARDENS & TREE WELLS & LENGTHS OF SYSTEMS VARY PER PLAN SHEETS.



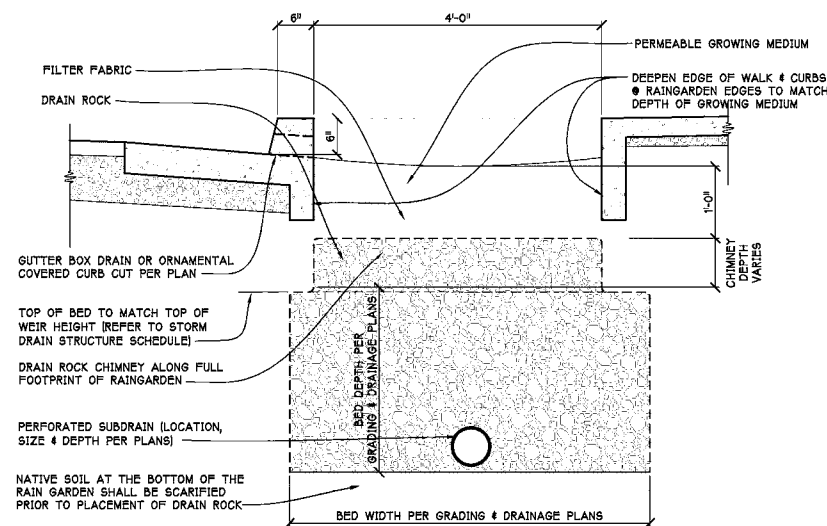
Drainage System 2e - Profile  
1"=10'



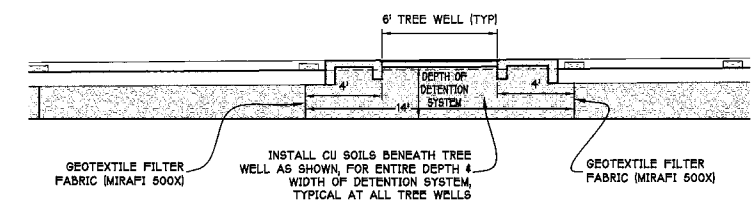
Drainage System 2i - Profile  
1"=10'



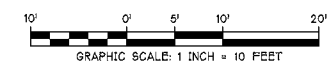
VALENCIA & PARADE RAINGARDEN



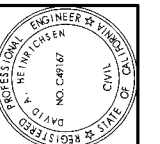
GRANITE



Typical Tree Well Detail  
SCALE: 1" = 5'



Drainage System Detail  
3/4"=1'-0"



DATE	REVISION	BY	APPROVED
6-15-11	1	DAH	DAH
6-15-11	2	DAH	DAH
6-15-11	3	DAH	DAH
6-15-11	4	DAH	DAH
6-15-11	5	DAH	DAH
6-15-11	6	DAH	DAH
6-15-11	7	DAH	DAH
6-15-11	8	DAH	DAH
6-15-11	9	DAH	DAH
6-15-11	10	DAH	DAH

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Street Drainage System  
**Aptos Village**  
Soquel Drive, Aptos, California

Vesting Tentative Map  
TRACT NO. 1561, APR 04-01-03/2023  
DATE: 8/12/10  
DESIGN: DAH  
DRAWN: D.D.

SHEET  
**TM36**

JOB NO. 07040



**Street Drainage System**

**Aptos Village**

Soquel Drive, Aptos, California

**37**

**Job No. 07040**

**Vesting Tentative Map**


TRACT NO. 1561, APN 041-011-03, 2023

DATE	DESIGN	DRAWN
8/12/10	DAH	DJD

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 TEL (831) 436-7343  
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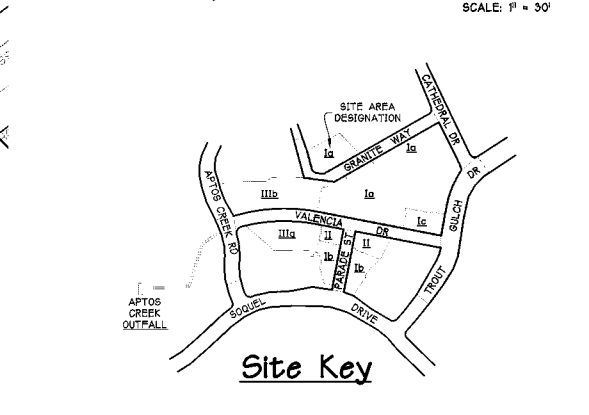
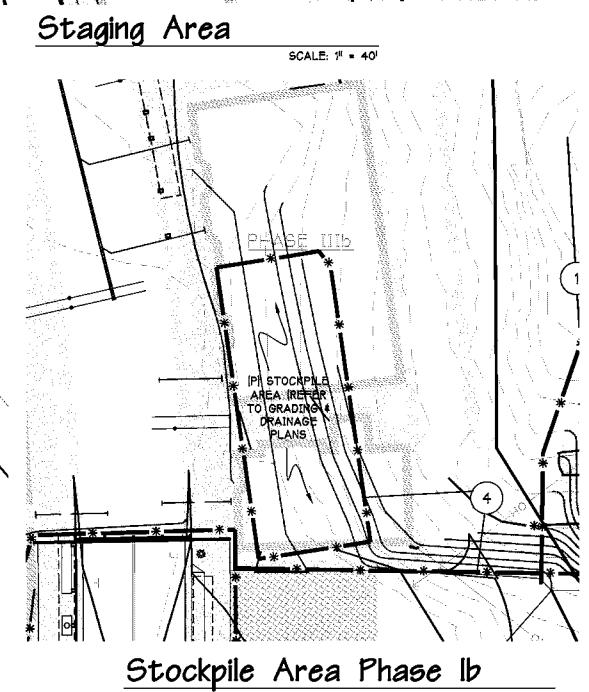
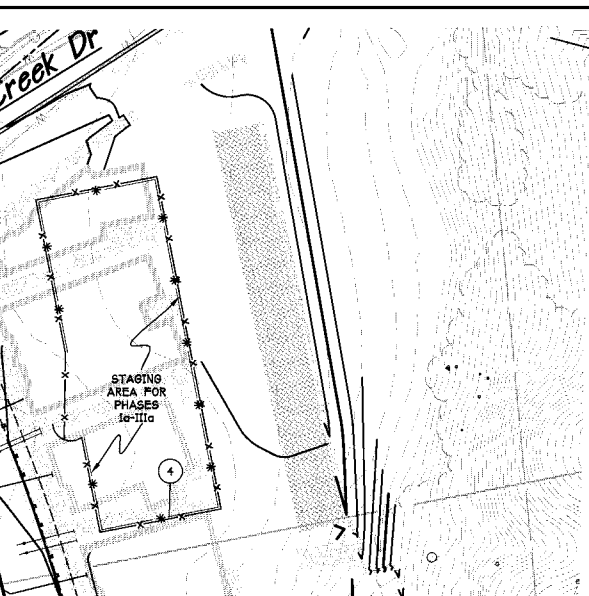
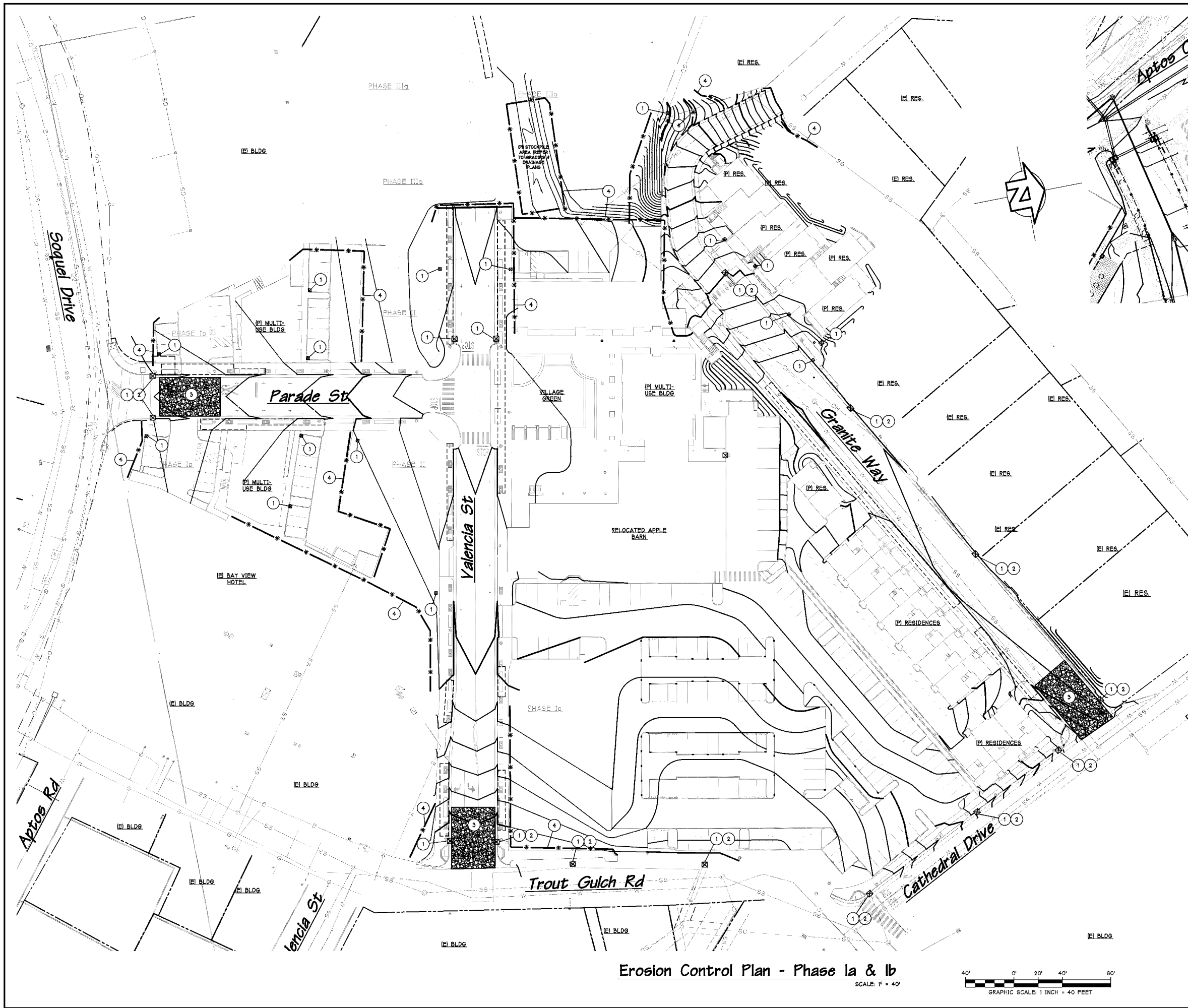
BY	APPROVED	REVISION	DATE	DATE
Country Review	Comments	1st	8-28-11	
County Review	Comments	2nd	9-18-11	
County Review	Comments	2nd	10-11-11	

**FOR Plan Check**

DAVID T. ENRICH / SEN. RCE NO. 497, 67

**ONLY**

REGISTERED CIVIL ENGINEER  
 NO. C49167  
 DATE 12-15-10  
 STATE OF CALIFORNIA

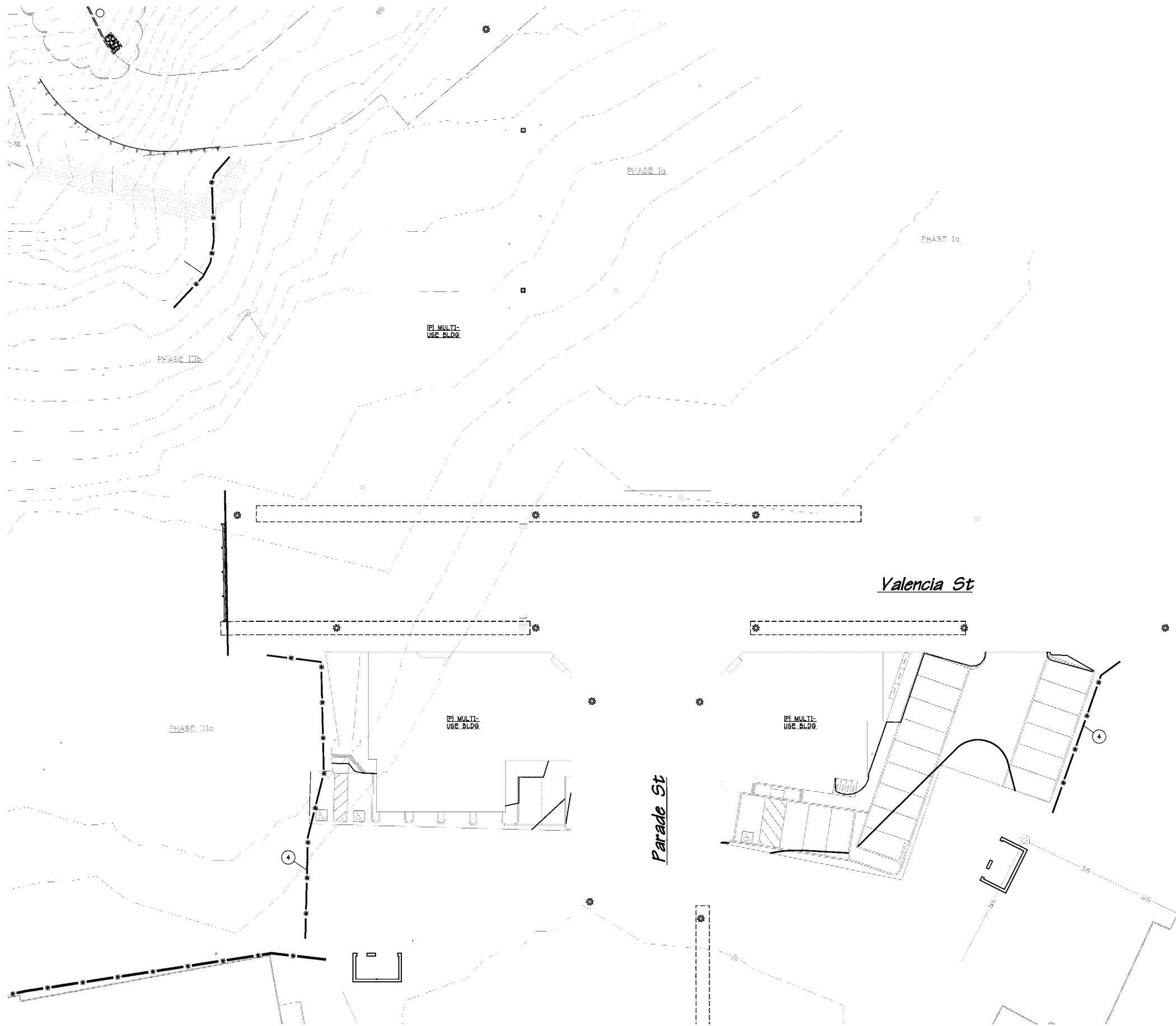


- ### Construction Notes
1. INSTALL DROP INLET FILTER FABRIC SEDIMENT BARRIER PER DETAIL ON SHEET EC6
  2. INSTALL CURB INLET SEDIMENT BARRIER PER DETAIL ON SHEET EC6
  3. INSTALL TEMPORARY CONSTRUCTION ACCESS PER DETAIL ON SHEET EC6
  4. INSTALL STRAW WATTLES PER DETAIL ON SHEET EC6
- SEE SHEET EC6 FOR EROSION CONTROL NOTES

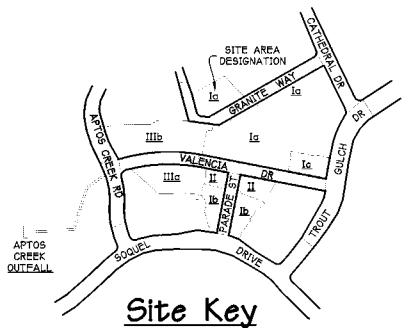
DATE	4-27-11
BY	DAVID HENRICSON
APPROVED	DAVID HENRICSON (P.E. NO. 49187)
For Plan Check Only	
DATE	
5200 SOQUEL AVE SUITE 101 SAN JOSE, CA 95128 TEL (408) 424-5513 FAX (408) 424-1743 www.hendricson.com	
ENGINEERS CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN	
Erosion Control Plan - Phase Ia & Ib	
Aptos Village	
Soquel Drive, Aptos, California	
Vesting Tentative Map TRACT NO. 1561, APN 041-011-032023	DESIGN DAH
DATE 8/12/10	DRAWN DJD
SHEET EC1	
JOB NO. 07040	







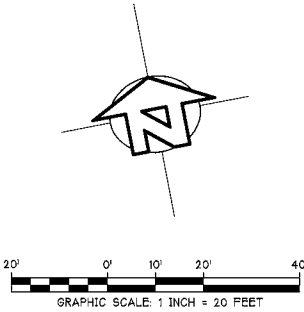
Erosion Control Plan - Phase II  
SCALE: 1" = 20'

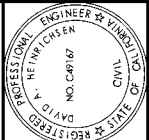


Construction Notes

1. INSTALL DROP INLET FILTER FABRIC SEDIMENT BARRIER PER DETAIL ON SHEET EC6
  2. INSTALL CURB INLET SEDIMENT BARRIER PER DETAIL ON SHEET EC6
  3. INSTALL TEMPORARY CONSTRUCTION ACCESS PER DETAIL ON SHEET EC6
  4. INSTALL STRAW WATTLES PER DETAIL ON SHEET EC6
- SEE SHEET EC6 FOR EROSION CONTROL NOTES

NOTE:  
SEE SHEET EC01 FOR STAGING AREA LOCATION

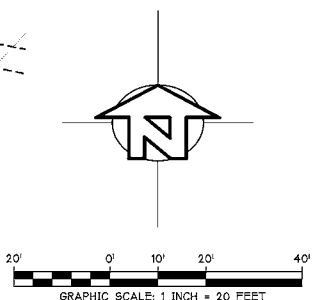
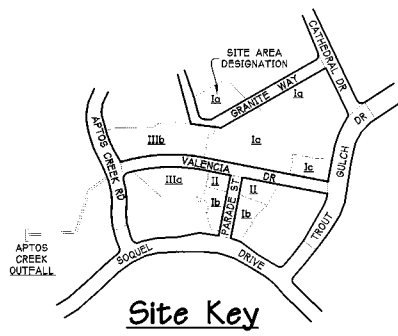


	
DATE	4-27-11
BY	DAVID HEINRICHSSEN
REVISION	10-15-10
DATE	10-15-10
BY	DAVID HEINRICHSSEN
APPROVED	DAVID HEINRICHSSEN (P.E. NO. 49137)
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<b>LAND ENGINEERS</b> CIVIL ENGINEERING ■ LAND PLANNING ■ STRUCTURAL DESIGN	
Erosion Control Plan - Phase II	
<b>Aptos Village</b>	
Soquel Drive, Aptos, California	
DATE	8/12/10
DESIGN	DAH
DRAWN	DJD
TRACT NO. 1561, APN 041-011-03-2023	
SHEET	
<b>EC3</b>	
JOB NO. 07040	

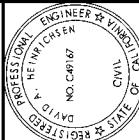




- Construction Notes**
- ① INSTALL DROP INLET FILTER FABRIC SEDIMENT BARRIER PER DETAIL ON SHEET EC6
  - ② INSTALL CURB INLET SEDIMENT BARRIER PER DETAIL ON SHEET EC6
  - ③ INSTALL TEMPORARY CONSTRUCTION ACCESS PER DETAIL ON SHEET EC6
  - ④ INSTALL STRAW WATTLES PER DETAIL ON SHEET EC6
  - SEE SHEET EC6 FOR EROSION CONTROL NOTES



**Erosion Control Plan - Phase IIIb**  
SCALE: 1" = 20'



APPROVED	DATE
DAVID HIRSCH	NOV 10 2023
BY	REVISION
DAVID HIRSCH	NOV 10 2023
DAVID HIRSCH	NOV 10 2023
DAVID HIRSCH	NOV 10 2023

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CIVIL ENGINEERING ■ LAND PLANNING ■ STRUCTURAL DESIGN

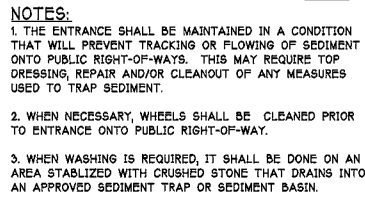


Erosion Control Plan - Phase IIIb  
**Aptos Village**  
Soquel Drive, Aptos, California

DATE	DESIGN	DRAWN
8/12/20	DAH	DJD

SHEET  
**EC5**

JOB NO. 07040



THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3 INCH [50-75 MM] STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.

THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 6 INCHES [152 MM]. USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS AND IN ANY CASE SHALL NOT BE LESS THAN 12 FEET [3.6 M] WIDE.

THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET [15.2 M].

LOCATE CONSTRUCTION ENTRANCES AND EXITS TO LIMIT SEDIMENT LEAVING THE SITE AND TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES AND ENTRANCES AT CURVES IN PUBLIC ROADS.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.

ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.

PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.

WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEE SEDIMENT BASIN BMP.

ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, STRAW BALES, OR OTHER APPROVED METHODS.

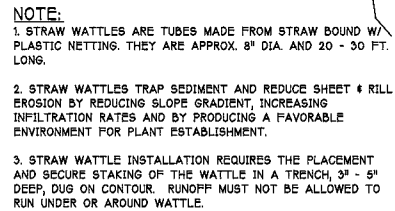
## INSPECTION AND MAINTENANCE.

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.

REPLACE GRAVEL MATERIAL WHEN SURFACE VOIDS ARE VISIBLE.

AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY.

IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS.



PREPARE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.

DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE WATTLES IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE WATTLE WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE WATTLE 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.

START BUILDING TRENCHES AND INSTALL WATTLES FROM THE BOTTOM OF THE SLOPE AND WORK UP.

CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.

LAY THE WATTLE ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE.

USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WILLOW OR WOODEN STAKES.

DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARE LIVE WILLOW MATERIAL.

INSTALL STAKES AT LEAST EVERY FOUR FEET ALONG EACH WATTLE. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY ERODIVE OR VERY STEEP SLOPES.

INSTALLATION AND MAINTENANCE

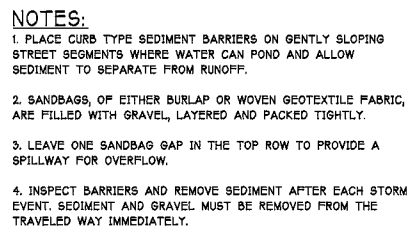
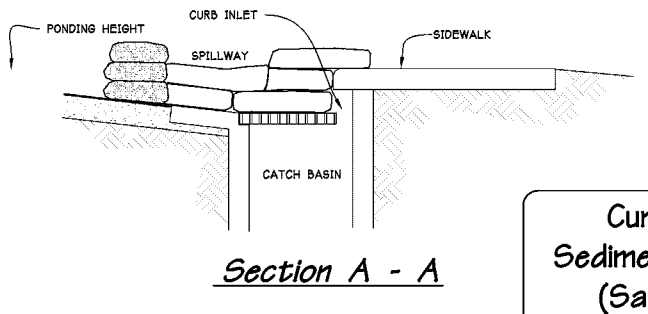
INSPECT THE STRAW WATTLE AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE WATTLES ARE IN CONTACT WITH THE SOIL.

REPAIR ANY RILLS OR GULLIES PROMPTLY.

RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

1. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
2. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
3. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINISHED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES. (SEE CONSTRUCTION DETAILS)
4. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
5. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF THE FOLLOWING SCS APPROVED EROSION CONTROL MIX AT A RATE OF 35 LBS. PER ACRE:  

BLANDO BROME 50X  
SEED CLOVER PELLETT (INOCULATED) 55X  
CREeping RED FESCUE 15X  
ZORRO ANNUAL FESCUE TRACE  
WILD-LOWERS TRACE
6. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OR ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
7. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
8. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION REQUIRED BY SECTION 16.2.0.80 HAS BEEN FINALED. NO FURTHER PROTECTION OR FURTHER APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
9. EXPOSED SOIL ON SLOPES GREATER THAN 20X SHALL BE SEEDDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
10. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
11. CONSTRUCTION ENTRANCES MAY BE "STAGED" WITH CONSTRUCTION AS NECESSARY. THE PURPOSE OS TO MINIMIZE TRAFFIC CIRCULATION TO/FROM A WITHIN THE CONSTRUCTION SITE.
12. IN ADDITION TO THE EROSION CONTROL PLAN, THE DEVELOPER AND CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH THE SWPPP PREPARED FOR THE PROJECT.



PLACE THE BARRIERS ON GENTLY SLOPING STREETS WHERE WATER CAN FLOW.

THE BARRIERS MUST ALLOW FOR OVERTFLOW FROM A SEVERE STORM EVENT. SLOPE RUNOFF SHALL BE ALLOWED TO FLOW OVER BLOCKS AND GRAVEL AND NOT BE BYPASSED OVER THE CURB. A SPILLWAY SHALL BE CONSTRUCTED WITH THE SANDBAG STRUCTURES TO ALLOW OVERTFLOW.

THE SANDBAG SHOULD BE OF WOVEN-TYPE GEOTEXTILE FABRIC SINCE BURLAP BAGS DETERIORATE RAPIDLY. REFER TO APPENDIX -GEOTEXTILES/GEOSYNTHETICS.

THE SANDBAGS SHALL BE FILLED WITH 3/4 INCH (8 MM) DRAIN ROCK OR 1/4 INCH (6 MM) PEA GRAVEL.

THE SANDBAGS SHALL BE PLACED IN A CURVED ROW FROM THE TOP OF CURB AT LEAST 3 FEET (0.9 M) INTO THE STREET. THE ROW SHOULD BE CURVED AT THE ENDS, POINTING UPHILL.

SEVERAL LAYERS OF BAGS SHOULD BE OVERLAPPED AND PACKED TIGHTLY.

LEAVE A ONE-SANDBAG GAP IN THE ROW TO ACT AS A SPILLWAY.

**FOR BLOCK AND GRAVEL TYPE BARRIERS:**

PLACE TWO CONCRETE BLOCKS ON THEIR SIDES PERPENDICULAR TO THE CURB AT EITHER END OF THE INLET OPENING. THESE WILL SERVE AS SPACER BLOCKS

PLACE CONCRETE BLOCKS ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS. THE OPENINGS IN THE BLOCKS SHOULD FACE OUTWARD, NOT UPWARD.

CUT A 2 BY 4 INCH (51 BY 102 MM) STUD THE LENGTH OF THE CURB INLET PLUS THE WIDTH OF THE TWO SPACER BLOCKS. PLACE THE STUD THROUGH THE OUTER HOLE OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.

PLACE WIRE MESH OVER THE OUTSIDE VERTICAL FACE (OPEN ENDS) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE BLOCKS.

USE CHICKEN WIRE, HARDWARE CLOTH WITH 1/2 INCH (13 MM) OPENINGS, OR FILTER FABRIC. REFER TO APPENDIX - GEOTEXTILES/GEOSYNTHETICS.

PLACE 3/4 - 1 1/2 INCH (19-34 MM) GRAVEL AGAINST THE WIRE TO THE TOP OF THE BARRIER.

**INSPECTION AND MAINTENANCE:**

INSPECT AND CLEAN BARRIER DURING AND AFTER EACH SIGNIFICANT STORM AND REMOVE SEDIMENT FROM BEHIND SANDBAG STRUCTURE AFTER EVERY STORM.

ANY SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM THE TRAVELED WAY OF ROADS.

THE REMOVED SEDIMENT SHALL BE PLACED WHERE IT CANNOT ENTER A STORM DRAIN, STREAM OR BE TRANSPORTED OFF SITE.

IF THE GRAVEL BECOMES CLOGGED WITH SEDIMENT, IT MUST BE CAREFULLY REMOVED FROM THE INLET AND EITHER CLEARED OR REPLACED.

TREE SYMBOL LEGEND:

	ACER GRISEUM PAPERBARK MAPLE 24" BOX		LAGERSTROEMIA HYBRIDS 'NATCHEZ' GRAPE MYRTLE 36" BOX
	ARBUTUS 'MARINA' NCN 24" BOX STANDARD		OLEA EUROPAEA 'SWAN HILL' OLIVE 24" BOX NON-FRUITING
	CERCIS CANADENSIS EASTERN REDBUD 15 GALLON		QUERCUS AGRIFOLIA COAST LIVE OAK 24" BOX
	GINKGO BILOBA MAIDENHAIR TREE 36" BOX MALE SPECIMEN ONLY		SEQUOIA SEMPERVIRENS 'APTOS BLUE' COAST REDWOOD 15 GALLON
			TILIA CORDATA LITTLE-LEAF LINDEN 36" BOX

IRRIGATION NOTES:

1. CONTRACTOR SHALL PROVIDE A FULLY AUTOMATIC IRRIGATION SYSTEM, WITH CONTROLLER, FLOW-CONTROL AND MOISTURE SENSOR.
2. ALL IRRIGATION SHALL BE IN COMPLIANCE WITH COUNTY OF SANTA CRUZ IRRIGATION STANDARDS AND SHALL BE WATER CONSERVING DRIP, LOW FLOW, MATCHED PRECIPITATION RATES, MICRO-SPRAY, SPRAY, OR BUBBLER AND SERVED BY AN AUTOMATIC CONTROLLER.
3. ALL TREES TO BE 15 GALLON UNLESS OTHERWISE NOTED.



24 ACER GRISEUM  
24" BOX PAPERBARK MAPLE

40 QUERCUS AGRIFOLIA  
24" BOX COAST LIVE OAK

25 SEQUOIA SEMPERVIRENS 'APTOS BLUE'  
15 GAL. COAST REDWOOD

30 CERCIS CANADENSIS  
15 GAL. EASTERN REDBUD

1 OLEA EUROPAEA 'SWAN HILL'  
24" BOX OLIVE

19 TILIA CORDATA  
36" BOX LITTLE-LEAF LINDEN

23 LAGERSTROEMIA INDICA  
36" BOX GRAPE MYRTLE

13 ARBUTUS 'MARINA'  
24" BOX NCN

10 GINKGO BILOBA  
36" BOX MAIDENHAIR TREE

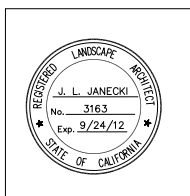
A FUTURE LANDSCAPE BUFFER BETWEEN BUILDINGS #13 AND #14 WILL BE AGREED UPON BY THE PROPERTY OWNERS AND INSTALLED BETWEEN THE BUILDINGS.

EXISTING MAGNOLIA TO BE EVALUATED BY A CERTIFIED ARBORIST. THE TREE SHALL BE PROTECTED AND MAINTAINED TO THE FULLEST EXTENT POSSIBLE.

0 20' 40' 80'  
SCALE: 1"=40'-0"

DRAFT  
NOT FOR CONSTRUCTION

REVISIONS:	NO.	DATE	DESCRIPTION	ADDED BUFFER NOTES
	1.	8/31/2011		
	2.			
	3.			
	4.			
	5.			



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FAX (831) 426-7609

**APTOS VILLAGE**  
Aptos, California  
TRACT NO. 1561, APN 041-011-03.20,33

**TREE PLANTING PLAN**

Job No. JULIA #07-160  
Scale: AS NOTED  
Drawn By: LS  
Issued: AUGUST 31, 2011



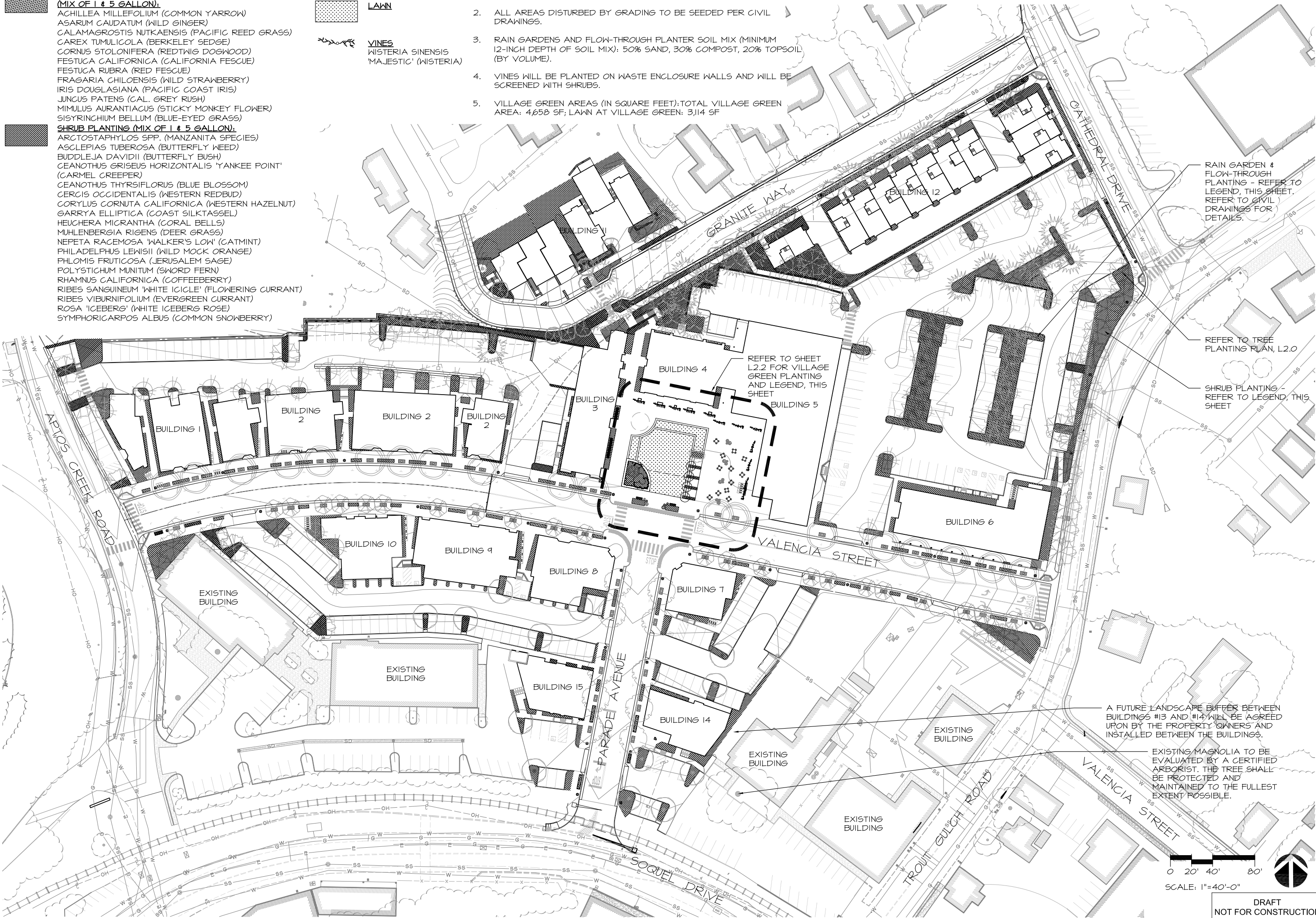
SHRUB PLANTING LEGEND:

- RAIN GARDEN - FLOW-THROUGH PLANTER (MIX OF 1 & 5 GALLON):**  
ACHILLEA MILLEFOLIUM (COMMON YARROW)  
ASARUM CAUDATUM (WILD GINGER)  
CALAMAGROSTIS NUTKAENSIS (PACIFIC REED GRASS)  
CAREX TUMULICOLA (BERKELEY SEDGE)  
CORNUS STOLONIFERA (REDTIG DOGWOOD)  
FESTUCA CALIFORNICA (CALIFORNIA FESCUE)  
FESTUCA RUBRA (RED FESCUE)  
FRAGARIA CHILOENSIS (WILD STRAWBERRY)  
IRIS DOUGLASIANA (PACIFIC COAST IRIS)  
JUNCUS PATENS (CAL. GREY RUSH)  
MINULUS AURANTIACUS (STICKY MONKEY FLOWER)  
SISYRINCHIUM BELLUM (BLUE-EYED GRASS)
- SHRUB PLANTING (MIX OF 1 & 5 GALLON):**  
ARCTOSTAPHYLOS SPP. (MANZANITA SPECIES)  
ASCLEPIAS TUBEROSA (BUTTERFLY WEED)  
BUDDLEJA DAVIDII (BUTTERFLY BUSH)  
CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT' (CARMEL CREEPER)  
CEANOTHUS THYRSIFLORUS (BLUE BLOSSOM)  
CERCIS OCCIDENTALIS (WESTERN REDBUD)  
CORYLUS CORNUTA CALIFORNICA (WESTERN HAZELNUT)  
GARRYA ELLIPTICA (COAST SILKTASSEL)  
HEUCHERA MICRANTHA (CORAL BELLS)  
MUHLENBERGIA RIGENS (DEER GRASS)  
NEPETA RACEMOSA 'WALKER'S LOW' (CATMINT)  
PHILADELPHUS LEWISII (WILD MOCK ORANGE)  
PHLOMIS FRUTICOSA (JERUSALEM SAGE)  
POLYSTICHUM MUNITUM (SWORD FERN)  
RHAMNUS CALIFORNICA (COFFEEBERRY)  
RIBES SANGUINEUM 'WHITE ICICLE' (FLOWERING CURRANT)  
RIBES VIBURNIFOLIUM (EVERGREEN CURRANT)  
ROSA 'ICEBERG' (WHITE ICEBERG ROSE)  
SYMPHORICARPOS ALBUS (COMMON SNOWBERRY)

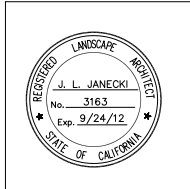
- LAWN**
- VINES**  
WISTERIA SINENSIS  
'MAJESTIC' (WISTERIA)

NOTES:

- ALL SHRUBS TO BE 5 GALLON UNLESS OTHERWISE NOTED.
- ALL AREAS DISTURBED BY GRADING TO BE SEEDED PER CIVIL DRAWINGS.
- RAIN GARDENS AND FLOW-THROUGH PLANTER SOIL MIX (MINIMUM 12-INCH DEPTH OF SOIL MIX): 50% SAND, 30% COMPOST, 20% TOPSOIL (BY VOLUME).
- VINES WILL BE PLANTED ON WASTE ENCLOSURE WALLS AND WILL BE SCREENED WITH SHRUBS.
- VILLAGE GREEN AREAS (IN SQUARE FEET): TOTAL VILLAGE GREEN AREA: 4,658 SF; LAWN AT VILLAGE GREEN: 3,114 SF



REVISIONS:	NO.	DATE	DESCRIPTION
	1.	8/31/2011	ADDED BUFFER NOTES
	2.		
	3.		
	4.		
	5.		



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**Project:**  
**APTOS VILLAGE**  
Aptos, California  
TRACT NO. 1561, APN 041-011-03.20, 33

**Sheet Title:**  
**SHRUB PLANTING PLAN**

**Job No.** JULIA #07-160  
**Scale:** AS NOTED  
**Drawn By:** LS  
**Issued:** AUGUST 31, 2011

